

Acts (2022)

Chapter 180

AN ACT RELATIVE TO EQUITY IN THE CANNABIS INDUSTRY

Be it enacted by the Senate and House of Representatives in General Court assembled, and by the authority of the same, as follows:

SECTION 1. Subsection (d) of section 2 of chapter 62 of the General Laws, as appearing in the 2020 Official Edition, is hereby amended by adding the following paragraph:-

(4) An amount equal to the amount paid or incurred during the taxable year in carrying on the trade or business of a marijuana establishment as defined in section 1 of chapter 94G or a medical marijuana treatment center as defined in section 1 of chapter 94I that would have been deductible under the Code, but for section 280E of said Code.

SECTION 2. Section 30 of chapter 63 of the General Laws is hereby amended by striking out paragraph 4, as so appearing, and inserting in place thereof the following paragraph:-

4. "Net income", gross income less the deductions, but not credits, allowable under the provisions of the Code, as amended and in effect for the taxable year; provided, however, that any deduction

otherwise allowable which is allocable, in whole or in part, to 1 or more classes of income not included in a corporation's taxable net income, as determined under subsection (a) of section 38, shall not be allowed. In the case of a corporation exempt from taxation under section 501 of the Code, "net income" means unrelated business taxable income, as defined in section 512 of the Code. In lieu of disallowing any deduction allocable, in whole or in part, to dividends not included in a corporation's taxable net income, 5 per cent of such dividends shall be includable therein, as provided in said subsection (a) of said section 38. For the purposes of this section and said subsection (a) of said section 38, the term "dividend" shall include, but not be limited to, amounts included in federal gross income pursuant to sections 951 and 951A of the Code. For the purposes of this section, any dividend received directly or indirectly from a real estate investment trust, as provided in sections 856 to 859, inclusive, of the Code, for the taxable year of the trust in which a dividend is paid, shall not be: (i) treated as a dividend; and (ii) included as part of the dividends received deduction otherwise available to the taxpayer under paragraph (1) of said subsection (a) of said section 38. Any dividend received directly or indirectly from a regulated investment company, as provided in sections 851 to 855, inclusive, of the Code, shall not be included as part of the dividends received deduction otherwise available under said paragraph (1) of said subsection (a) of said section 38.

The following deductions shall be allowed: (i) a deduction for that portion of wages or salaries paid or incurred for the taxable year equal to the amount of the credit allowable for the taxable year under section 51 of the Code and otherwise disallowed under section 280C of said

Code; and (ii) a deduction for any amount paid or incurred during the taxable year in carrying on the trade or business of a marijuana establishment, as defined in section 1 of chapter 94G, or a medical marijuana treatment center, as defined in section 1 of chapter 94I, that would have been deductible under the Code, but for section 280E of said Code.

Deductions with respect to the following items shall not be allowed:

(i) dividends received;

(ii) losses sustained in other taxable years, except for the net operating losses as provided in paragraph 5 of this section;

(iii) taxes on or measured by income, franchise taxes measured by net income, franchise taxes for the privilege of doing business and capital stock taxes imposed by any state;

(iv) the deduction allowed by section 168(k) of said Code;

(v) except as otherwise provided in section 31J, interest expense paid, accrued or asserted in connection with a dividend of a note or similar obligation stating the requirement that such interest is to be paid by the corporation that dividends such obligation to its shareholders;

(vi) the deduction allowed by section 199 of the Code;

(vii) the deduction described in section 163(e)(5) of the Code to the extent increased by amendments to section 163(e)(5)(F) and section 163(i)(1) of the Code, inserted by section 1232 of the federal American Recovery and Reinvestment Act of 2009, Pub. L. 111-5; and

(viii) the deductions allowed by sections 245A, 250 and 965(c) of the Code.

SECTION 3. Section 7E of chapter 64C of the General Laws, as so appearing, is hereby amended by striking out subsection (m) and inserting in place thereof the following subsection:-

(m) Marijuana products and marijuana accessories as defined in section 1 of chapter 94G shall not be subject to the excise imposed under this section; provided, however, that marijuana accessories that are manufactured to also deliver nicotine shall be considered an electronic nicotine delivery system and shall be subject to the excise imposed under this section.

SECTION 4. Section 1 of chapter 64N of the General Laws, as so appearing, is hereby amended by adding the following subsection:-

(c) "Social equity business", a marijuana retailer that is a social equity business, as defined in section 1 of chapter 94G.

SECTION 5. Section 2 of said chapter 64N, as so appearing, is hereby amended by adding the following paragraph:-

A sum equal to 1 per cent of the total sales price received under this section from a marijuana retailer that is a social equity business, as defined in section 1 of chapter 94G, shall, not less than quarterly, be distributed, credited and paid by the state treasurer upon certification of the commissioner to each city or town that has at least 1 marijuana retailer that is a social equity business, in proportion to the amount of the sums received from the sale of marijuana or marijuana products by any such marijuana retailer in the city or town. Any city or town seeking to dispute the commissioner's calculation of its distribution

under this paragraph shall notify the commissioner, in writing, not later than 1 year from the date the money was distributed by the commissioner to the city or town.

SECTION 6. Section 1 of chapter 94G of the General Laws, as so appearing, is hereby amended by inserting after the definition of "Host community" the following definition:-

"Host community agreement", an agreement between a marijuana establishment or a medical marijuana treatment center and a municipality pursuant to subsection (d) of section 3.

SECTION 7. Said section 1 of said chapter 94G, as so appearing, is hereby further amended by inserting after the definition of "Marijuana retailer" the following definition:-

"Medical marijuana treatment center", a medical marijuana treatment center as defined in section 1 of chapter 94I.

SECTION 8. Said section 1 of said chapter 94G, as so appearing, is hereby further amended by inserting after the definition of "Residual solvent" the following definition:-

"Social equity business", a marijuana establishment with not less than 51 per cent majority ownership of individuals who are eligible for the social equity program under section 22 or whose ownership qualifies it as an economic empowerment priority applicant as defined by the commission's regulations promulgated pursuant to section 4.

SECTION 9. Section 3 of said chapter 94G, as so appearing, is hereby amended by striking out subsection (b) and inserting in place thereof the following subsection:-

(b)(1) For the purposes of this subsection, the following words shall, unless the context clearly requires otherwise, have the following meanings:

“Ballot question committee”, as defined in section 1 of chapter 55.

“Registrars”, as defined in section 1 of chapter 50.

(2) The city council of a city and the board of selectmen or town council of a town shall, upon the filing with the city or town clerk of a petition meeting the requirements of this subsection, request that the question of whether to allow, in the city or town, the sale of marijuana and marijuana products for consumption on the premises where sold, be submitted to the voters of the city or town.

The petition shall be on a form prepared by the state secretary, signed by not less than 10 per cent of the number of voters of the city or town who voted at the preceding biennial state election and submitted in a timely manner, after filing the petition with the city or town clerk, to the board of registrars or election commissioners. The board of registrars or election commissioners shall certify the signature of registered voters not more than 7 days after receipt of the petition. Upon certification of the signatures, the following question, and a fair and concise summary of the question to be prepared by the city solicitor or town counsel, shall be placed on the ballot for the next regularly occurring municipal or state election in the city or town:

“Shall [city or town] allow the sale of marijuana and marijuana products, as those terms are defined in section 1 of chapter 94G of the General Laws, for consumption on the premises where sold, a summary of which appears below?”

Notwithstanding the foregoing, the question shall appear on the ballot for the next regularly occurring municipal election if the election is to be held not less than 35 days after certification. To appear on the ballot for the next regularly occurring biennial state election, the city or town clerk shall provide notice, including the ballot question and summary, to the state secretary not later than the first Wednesday in August before the election.

If a majority of the votes cast in the city or town are in favor of allowing the consumption of marijuana or marijuana products on the premises where sold, such city or town shall have authorized the consumption of marijuana and marijuana products on the premises where sold.

(3) As an alternative to a local voter initiative petition process under paragraph (2), a city or town may, by ordinance or by-law, allow the consumption of marijuana or marijuana products on the premises where sold. No local voter initiative shall be required if the sale of marijuana and marijuana products for consumption on the premises is authorized by local law.

(4) A ballot question committee organized to favor or oppose a question placed on the ballot pursuant to paragraph (2) of this subsection shall comply with applicable guidance and regulations issued by the office of campaign and political finance for municipal ballot question committees.

SECTION 10. Said section 3 of said chapter 94G, as so appearing, is hereby further amended by striking out subsection (d) and inserting in place thereof the following subsection:-

(d)(1) A marijuana establishment or a medical marijuana treatment center seeking a new license or renewal of a license to operate or continue to operate in a municipality that permits such operation shall negotiate and execute a host community agreement with that host community setting forth the conditions to have a marijuana establishment or medical marijuana treatment center located within the host community, which shall include, but not be limited to, all stipulations of responsibilities between the host community and the marijuana establishment or medical marijuana treatment center.

(2)(i) Notwithstanding any general or special law to the contrary, a host community agreement may include a community impact fee for the host community; provided, however, that no host community agreement shall include a community impact fee after the eighth year of operation of a marijuana establishment or a medical marijuana treatment center. The community impact fee shall: (A) be reasonably related to the costs imposed upon the municipality by the operation of the marijuana establishment or medical marijuana treatment center, as documented pursuant to subparagraph (iii); (B) amount to not more than 3 per cent of the gross sales of the marijuana establishment or medical marijuana treatment center; (C) not be effective after the marijuana establishment or medical marijuana treatment center's eighth year of operation; (D) commence on the date the marijuana establishment or medical marijuana treatment center is granted a final license by the commission; and (E) not mandate a certain percentage of total or gross sales as the community impact fee.

(ii) Notwithstanding any general or special law to the contrary, the community impact fee shall encompass all payments and obligations between the host community and the marijuana establishment or a medical marijuana treatment center. The community impact fee shall not include any additional payments or obligations, including, but not limited to, monetary payments, in-kind contributions and charitable contributions by the marijuana establishment or medical marijuana treatment center to the host community or any other organization. Payment of the community impact fee shall be due annually to the host community, with the first payment occurring not sooner than upon the first annual renewal by the commission of a final license to operate the marijuana establishment or medical marijuana treatment center. Any other contractual financial obligation that is explicitly or implicitly a factor considered in, or is a condition of a host community agreement, shall not be enforceable. Nothing in this section shall preclude a marijuana establishment or a medical marijuana treatment center from voluntarily providing organizations with monetary payments, in-kind contributions and charitable contributions after the execution of the host community agreement; provided, however, that a host community agreement shall not include a promise to make a future monetary payment, in-kind contribution or charitable contribution.

(iii) Any cost imposed upon a host community by the operation of a marijuana establishment or medical marijuana treatment center shall be documented by the host community and transmitted to the licensee not later than 1 month after the date of the annual renewal of a final license to operate the marijuana establishment or medical marijuana treatment center and shall be a public record as defined by clause

Twenty-sixth of section 7 of chapter 4 and chapter 66. If a licensee believes the information documented and transmitted by a host community is not reasonably related to the actual costs imposed upon the host community in the preceding year by the operation of the marijuana establishment or medical marijuana treatment center, the licensee may bring a breach of contract action against the host community and recover damages, attorneys' fees and other costs encompassed in the community impact fee that are not reasonably related to the actual costs imposed upon the city or town.

(3) The commission shall review and approve each host community agreement as part of a completed marijuana establishment or medical marijuana treatment center license application and at each license renewal. If the commission determines that a host community agreement is not in compliance with this section, the commission shall provide written notice of any deficiencies and may request additional information from the prospective licensee and host community. The commission shall not approve a final license application unless the commission approves the host community agreement and certifies that the host community agreement complies with this subsection. The commission shall complete its review of a host community agreement not later than 90 days after it is received by the commission.

(4) A host community may waive the host community agreement requirement; provided, however, that the host community shall submit to the commission a written waiver executed by the host community and the marijuana establishment or medical marijuana treatment center.

(5) Notwithstanding any general or special law to the contrary, the commission shall promulgate regulations to establish minimum acceptable standards for host communities to promote and encourage full participation in the regulated marijuana industry by people from communities that have previously been disproportionately harmed by marijuana prohibition and enforcement and to positively impact those communities; provided, however, that a host community may establish procedures and policies beyond the minimum regulations established by the commission. A city or town that is not a host community shall establish such procedures and policies before entering into a host community agreement with a marijuana establishment or medical marijuana treatment center.

(6) The commission shall issue rules and promulgate regulations necessary to implement this subsection.

SECTION 11. Said section 3 of said chapter 94G, as so appearing, is hereby further amended by adding the following subsection:-

(f) A city or town shall adhere to cannabis control commission regulations promulgated pursuant to section 4 regarding procedures and policies for host communities to promote and encourage full participation in the regulated marijuana industry by people from communities that have been disproportionately harmed by marijuana prohibition and enforcement and may establish additional procedures and policies to further this goal. The failure of a host community to adhere to such procedures and policies shall result in a monetary penalty to the host community equal to the annual total of community impact fees received from all marijuana establishments or medical

marijuana treatment centers operating within the host community, to be deposited into the Cannabis Social Equity Trust Fund established in section 14A of chapter 94G.

SECTION 12. Section 4 of said chapter 94G, as so appearing, is hereby further amended by striking out, in line 102, the words “employment or”.

SECTION 13. Said section 4 of said chapter 94G, as so appearing, is hereby further amended by inserting after the word “minor”, in line 104, the following words:-

; and provided further, that a prior criminal conviction or other criminal case disposition shall not disqualify an individual or otherwise affect eligibility for employment in connection with a marijuana establishment, other than an independent testing laboratory, unless the offense involved the distribution of a controlled substance, including marijuana, to a minor.

SECTION 14. Subsection (a) of said section 4 of said chapter 94G, as so appearing, is hereby amended by striking out clauses (xxvii) and (xxviii) and inserting in place thereof the following clauses:-

(xxvii) monitor any federal activity regarding marijuana;

(xxviii) adopt, amend or repeal regulations for the implementation, administration and enforcement of this chapter;

(xxix) review, regulate, enforce and approve host community agreements pursuant to paragraph (3) of subsection (d) of section 3;

(xxx) prioritize social equity program businesses and economic empowerment priority applicants and any other class of applicants the commission deems eligible for expedited review during an evaluation of applications and inspections;

(xxxi) establish procedures and policies for municipalities to promote and encourage full participation in the regulated marijuana industry during negotiations of host community agreements with social equity program businesses and economic empowerment priority applicants; and

(xxxii) develop a model host community agreement, minimum acceptable standards and best practices for municipalities and prospective licensees during negotiations of host community agreements with social equity businesses.

SECTION 15. Subsection (a^{1/2}) of said section 4 of said chapter 94G, as so appearing, is hereby amended by striking out clauses (xxxiii) and (xxxiv) and inserting in place thereof the following clauses:-

(xxxiii) requirements that prohibit marijuana product manufacturers from altering or utilizing commercially-manufactured food products when manufacturing marijuana products unless the food product was commercially manufactured specifically for use by the marijuana product manufacturer to infuse with marijuana; provided, however, that a commercially-manufactured food product may be used as an ingredient in a marijuana product if: (A) it is used in a way that renders it unrecognizable as the commercial food product in the

marijuana product; and (B) there is no statement or advertisement indicating that the marijuana product contains the commercially-manufactured food product;

(xxxiv) energy and environmental standards for licensure and licensure renewal of marijuana establishments licensed as a marijuana cultivator or marijuana product manufacturer;

(xxxv) criteria for allowing marijuana establishments and medical marijuana treatment centers to satisfy their positive impact plan requirement for licensure in part by donating a percentage of their revenue to the Cannabis Social Equity Trust Fund established in subsection (a) of section 14A;

(xxxvi) criteria for reviewing, certifying and approving host community agreements and community impact fees, including criteria for calculating community impact fees consistent with subsection (d) of section 3; and

(xxxvii) procedures and policies for host communities to promote and encourage full participation in the regulated marijuana industry, pursuant to paragraph (5) of subsection (d) of section 3, during negotiations of host community agreements with social equity businesses, including, but not limited to, advisory guidelines, best practices and minimum acceptable policy standards.

SECTION 16. Said section 4 of said chapter 94G, as so appearing, is hereby further amended by striking out the word "marijuana", in lines 347 and 357, and inserting in place thereof, in each instance, the following word:- cannabis.

SECTION 17. Section 14 of said chapter 94G, as so appearing, is hereby amended by inserting after the words “chapter 132B”, in line 15, the following words:-

; provided, however, that, annually, 15 per cent of the fund shall be transferred to the Cannabis Social Equity Trust Fund established in section 14A.

SECTION 18. Said chapter 94G is hereby further amended by inserting after section 14 the following section:-

Section 14A. (a) There shall be a Cannabis Social Equity Trust Fund to encourage the full participation in the commonwealth’s regulated marijuana industry of entrepreneurs from communities that have been disproportionately harmed by marijuana prohibition and enforcement. The fund shall consist of: (i) funds transferred pursuant to subsection (b) of section 14; and (ii) any funds from private sources, including, but not limited to, gifts, grants and donations. Money in the fund shall be used to make grants and loans, including no-interest loans and forgivable loans, to social equity program participants and economic empowerment priority applicants. The fund shall be administered by the executive office of housing and economic development, in consultation with the cannabis social equity advisory board established in subsection (b). Money remaining in this fund at the end of the fiscal year shall not revert to the General Fund.

(b) There shall be a cannabis social equity advisory board, hereinafter referred to as the advisory board, consisting of individuals from, or with experience advocating on behalf of, communities that have been disproportionately harmed by marijuana prohibition and enforcement. The board shall consist of: 1 person appointed by the

governor with a background in the cannabis industry, who shall serve as chair; 1 person appointed by the treasurer and receiver-general with a background in finance or commercial lending; 1 person appointed by the attorney general with a background in business development or entrepreneurship; and 2 persons appointed by a majority vote of the governor, treasurer and receiver-general and attorney general, both of whom shall have experience in business development, preferably in the cannabis industry. When making appointments, an appointing authority shall select individuals who are from, or have experience advocating for, communities that have been disproportionately harmed by marijuana prohibition and enforcement. Each advisory board member shall serve for a 5-year term and may be reappointed by their appointing authority and shall serve without compensation except for reimbursement of actual expenses reasonably incurred in the performance of their duties as a member or on behalf of the advisory board. Any vacancy in a seat on the advisory board shall be filled by the appropriate appointing authority within 60 days of the vacancy. The appointing authority may remove an advisory board member who was appointed by that appointing authority for cause. Before removal, the advisory board member shall be provided with a written statement of the reason for removal and an opportunity to be heard.

(c) The executive office of housing and economic development, in consultation with the advisory board, shall promulgate regulations governing the structure and administration of the fund, including, but not limited to: (i) requirements for social equity businesses and municipalities who host such businesses to apply to receive a grant or loan from the fund; (ii) conditions of such grants and loans; (iii) procedures pertaining to marijuana establishments or medical

marijuana treatment centers that default on a loan from the fund; (iv) a process by which a license is sold as a result of a licensee's default on a loan from the fund; (v) procedures and policies to ensure that applicants and grantees come from all license types; (vi) prohibitions against the sale, transfer or pledge of any asset or interest by a social equity business to an entity or individual other than a social equity business or an individual qualified as an economic empowerment priority applicant as defined by the commission's regulations within an initial, specified timeframe to begin on the date the business is authorized to commence operations by the commission; provided, however, that the initial, specified timeframe shall not exceed 5 years; and (vii) terms for payment of a clawback requiring the commonwealth to recover 100 per cent of the grant and loan funds should a sale, transfer or pledge of any asset or interest by a social equity business occur in violation of clause (vi). The secretary of housing and economic development, in consultation with the advisory board, shall be responsible for the selection of recipients, grant or loan values and conditions for such grants or loans; provided, that when selecting recipients, the secretary in consultation with the advisory board, shall take into consideration the racial, ethnic and gender demographics of the municipality in which the recipient businesses are located.

(d) Annually, not later than July 31, the executive office of housing and economic development, in consultation with the advisory board, shall report on expenditures from the fund in the previous fiscal year. The report shall include, but shall not be limited to: (i) information that identifies and describes the amount of money expended from the fund; (ii) a list of the entities that received a grant

or loan from the fund; (iii) the geographic location of recipient entities; (iv) the form of funding received by each entity; (v) information indicating whether each recipient entity is a minority-owned entity; and (vi) any other information that the executive office and the advisory board deem appropriate to ensure equity and accountability. The report shall be filed with the clerks of the house of representatives and the senate, the house and senate committees on ways and means and the joint committee on cannabis policy. The executive office shall make the report publicly available on its website.

(e) The violation of a condition of a grant or loan made pursuant to this section or any other violation of this section shall be punished by a fine of not more than 50 per cent of the violator's grant or loan value per violation, in addition to funds paid under clause (vii) of subsection (c), if applicable.

SECTION 19. Subsection (b) of section 17 of chapter 94G of the General Laws, as appearing in the 2020 Official Edition, is hereby amended by inserting after the first sentence the following 2 sentences:-

Said departments and executive offices shall: (i) provide the commission with any existing data requested by the commission, subject to any applicable confidentiality laws and regulations regarding personally identifying information; (ii) collect data, as reasonably requested by the commission, to complete the commission's research agenda; and (iii) provide data requested by the commission pursuant to clause (ii) to the commission subject to any applicable confidentiality laws and regulations regarding personally

identifying information. Any personally identifiable information contained in data acquired through this section shall not be considered a public record and shall not be subject to disclosure pursuant to clause twenty-sixth of section 7 of chapter 4 and chapter 66.

SECTION 20. Said chapter 94G is hereby further amended by adding the following section:-

Section 22. The commission shall administer a social equity program to encourage and enable full participation in the marijuana industry of people from communities that have been disproportionately harmed by marijuana prohibition and enforcement and to positively impact those communities. The program shall offer: (i) technical assistance and training; and (ii) guidance on how to access funds available through the Cannabis Social Equity Trust Fund, established in section 14A, to individuals certified by the commission as economic empowerment priority applicants and that meet other criteria determined by the commission.

SECTION 21. Section 22 of chapter 270 of the General Laws, as appearing in the 2020 Official Edition, is hereby amended by inserting after the definition of "Enclosed" the following definition:-

"Licensed marijuana social consumption establishment", an establishment that is, at a minimum: (i) licensed by the Massachusetts cannabis control commission established under section 76 of chapter 10 for sale of marijuana and marijuana products for consumption on the premises pursuant to regulations promulgated pursuant to section 4 of chapter 94G; and (ii) authorized to allow social consumption of cannabis on the premises, where required, by the appropriate authority

in the city or town in which the establishment is located; provided however, that tobacco shall not be sold, smoked, vaporized or consumed at said establishment.

SECTION 22. Said section 22 of said chapter 270, as so appearing, is hereby amended by adding the following subsection:-

(p) Nothing in this section shall prohibit the consumption of marijuana, including, but not limited to, marijuana consumption that involves the combustion, heating, vaporization or aerosolization of cannabis products, at a licensed marijuana social consumption establishment, in designated consumption areas and as permitted by cannabis control commission regulations promulgated pursuant to section 4 of chapter 94G.

SECTION 23. Chapter 276 of the General Laws is hereby amended by inserting after section 100K the following section:-

Section 100K^{1/4}. (a) Notwithstanding the requirements of section 100I and section 100J, a court shall, within 30 days of a petition being filed, order the expungement of a record created as a result of a criminal court appearance, juvenile court appearance or disposition for: (1) the possession or cultivation of an amount of marijuana decriminalized by chapter 387 of the acts of 2008; (2) the possession or cultivation of an amount of marijuana decriminalized by chapter 334 of the acts of 2016; (3) the possession or cultivation of an amount of marijuana decriminalized by chapter 55 of the acts of 2017; (4) possession of marijuana with intent to distribute based on an amount of marijuana decriminalized by chapter 387 of the acts of 2008, chapter 334 of the acts of 2016 or chapter 55 of the acts of 2017; or

(5) distribution of marijuana based on an amount of marijuana decriminalized by chapter 387 of the acts of 2008, chapter 334 of the acts of 2016 or chapter 55 of the acts of 2017.

(b) Prior to entering an order on a petition for expungement pursuant to subsection (a), the court shall hold a hearing if requested by the petitioner or the district attorney. Upon granting or denying a petition for expungement pursuant to subsection (a), the court shall enter written findings of fact.

(c) Upon an order for expungement pursuant to this section or section 100F, section 100G or section 100H, the court clerk's office shall provide the petitioner with a certified copy of the order, the docket sheets and the criminal complaint related to the expunged charge. The court shall send a copy of the expungement order to the clerk of the court where the record was created, to the commissioner of probation and to the commissioner of criminal justice information services.

SECTION 24. Section 51 of chapter 55 of the acts of 2017 is hereby amended by striking out the words "and (ii)" and inserting in place thereof the following words: (ii) a campaign to educate the public on health risks associated with marijuana and tetrahydrocannabinol consumption, including, but not limited to, the risks: (A) to mental health; (B) of use during pregnancy; (C) of use of high potency products; and (D) of home extraction of marijuana concentrates; and (iii).

SECTION 25. (a) Notwithstanding any general or special law to the contrary, a host community shall establish initial procedures or policies required by paragraph (5) of subsection (d) of section 3 of

chapter 94G of the General Laws not later than July 1, 2023.

(b) The failure of a host community to establish procedures or policies pursuant to subsection (a) shall result in a monetary penalty to the host community equal to the annual total of community impact fees received from all marijuana establishments or medical marijuana treatment centers operating within the host community, to be deposited into the Cannabis Social Equity Trust Fund established in section 14A of said chapter 94G.

Governor returned with disapproval of the following section, for message see S3107

~~SECTION 26. (a) The cannabis control commission, in consultation with the department of elementary and secondary education and the department of public health, shall conduct a study on the possession, administration and consumption of medical marijuana, as defined in chapter 94I, at public or private schools in the commonwealth as it relates to students who have been issued valid registration cards pursuant to said chapter 94I. The study shall include, but not be limited to: (i) an examination of policies on the possession, administration and consumption of medical marijuana by students at public and private schools in the commonwealth; (ii) an analysis of existing legal, regulatory and administrative obstacles to possession, administration and consumption of medical use marijuana at public and private schools in the commonwealth; (iii) a survey of available methods of consumption, administration and storage of medical use marijuana at public and private schools; (iv) recommendations on best practices for public and private schools in the commonwealth to ensure that students have access to medical use marijuana while also maintaining a safe school environment for all students; and (v)~~

~~recommendations on eliminating obstacles and expanding accommodations to possess, administer and consume medical use marijuana at public and private schools in the commonwealth.~~

~~(b) Not later than August 31, 2023, the Massachusetts cannabis control commission, in consultation with the department of elementary and secondary education and the department of public health, shall submit a report of its findings and recommendations to the clerks of the house of representatives and the senate, the joint committee on cannabis policy and the joint committee on children, families and persons with disabilities.~~

SECTION 27. Initial appointments to the cannabis social equity advisory board established in section 14A of chapter 94G of the General Laws shall be made not later than 60 days after the effective date of this act.

SECTION 28. The Massachusetts cannabis control commission shall promulgate or amend regulations as necessary to be consistent with this act not later than 1 year from the effective date of this act.

SECTION 29. Sections 1 and 2 shall take effect for taxable years beginning on or after January 1, 2022.

Approved (in part) , August 11, 2022.

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: SFW22-000002

File #: 22-017189

Business Name: House Bear Brewing

Application Type: Special Farmer Winery (agricultural events)

Location: 191 HIGHLAND AVE

APPLICANT

Company Name: House Bear Brewing, LLC

Business Address:

25 Storey Ave, #238,

Newburyport, , MA 01950

Manager of Establishment: Beth Borges

Manager Email: beth@housebearbrewing.com

Manager Phone Number: 781-839-0149

BUSINESS INFORMATION

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

House Bear Brewing, LLC

DBA Name

House Bear Brewing

In the last 3 years, have you admitted liability or been found liable under any state or federal law regulating the payment of wages to employees, or the collection of debt from employees?

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?
[href=..\Documents\149\WAGE%20THEFT%20ORDINANCE.pdf](..\Documents\149\WAGE%20THEFT%20ORDINANCE.pdf)
[target=_blank>City Wage Theft Ordinance](#)

No

Explain

Manager of your establishment

Beth Borges

Manager email

beth@housebearbrewing.com

Manager phone

781-839-0149

OPERATING INFORMATION

Name of agricultural event (each event must be applied for separately)

Somerville Winter Farmers Market

Location of agricultural event

Somerville Arts at the Armory

Date(s) and time(s)

11/5/22-04/08/23 Saturdays 9:30am-1:30pm

What are you selling and/or sampling?

Mead and hard cider (legally wine)

Estimated attendance at any one time

250

Estimated total attendance

1000

Have you ever obtained a Special Farmer Winery License before?

Yes

Describe	2014 (Somerville Winter Farmers Market), 2021 (Somerville Winter Farmers Market), 2022 (East Somerville Farmers Market)
Have you ever had a Special Farmer Winery License denied, suspended, or revoked?	No
Describe	
Have you ever received a Notice of Violation?	No
Describe	
<i class=icon-check></i> TERMS AND CONDITIONS	
ACKNOWLEDGEMENT, RELEASE AND INDEMNIFICATION, AND WAGE THEFT ORDINANCE RECEIPT	
By clicking submit below, I certify that I am the Applicant or that I am duly authorized to act as an agent for the Applicant	
I certify that all information provided on this application is true and accurate, and I acknowledge that any information found to be false or misleading will result in the forfeiture of this license and may result in a one-year wait before a new application can be submitted, as well as criminal prosecution.	
I certify that the Applicant will make no changes to any component of the business plan described in this application without written notification to, and the prior approval of, the City.	
I certify that the Applicant will adhere to any and all City ordinances, regulations, and conditions pertaining to this license, and I acknowledge that any violation of City ordinances, regulations, and conditions pertaining to this license could subject the Applicant and anyone operating under this license to arrest, fine, and loss of this license.	
I acknowledge that the so-called Wage Theft Ordinance, part of the Municipal Ordinances, has been made available to me as part of this application process. download ordinance	
I certify that the applicant, to my best knowledge and belief, has filed all State tax returns and paid all State taxes required under law.	
I release, discharge and hold harmless, the City of Somerville, a municipal corporation of the Commonwealth of Massachusetts, and its officers, employees, agents and servants from all actions, causes of action, claims, demands, damages, costs, loss of services, expenses and compensation associated with the issuance of this license, and the conduct of anyone operating under this license.	
You must read and accept the above stated terms & conditions	Yes

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: SFW22-000003

File #: 22-017271

Business Name: Blisspoint Meadery

Application Type: Special Farmer Winery (agricultural events)

Location: municipal parking lot adjacent to the Davis Square Plaza

APPLICANT

Company Name: Blisspoint Meadery

Business Address:

1 Fox Run Rd.

Bedford, MA 01730

Manager of Establishment: Jeff Venuti

Manager Email: jeff@blisspointmeadery.com

Manager Phone Number: 617-466-9658

BUSINESS INFORMATION

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Blisspoint LLC

DBA Name

Blisspoint Meadery

In the last 3 years, have you admitted liability or been found liable under any state or federal law regulating the payment of wages to employees, or the collection of debt from employees?

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?
City Wage Theft Ordinance

No

Explain

Manager of your establishment

Jeff Venuti

Manager email

jeff@blisspointmeadery.com

Manager phone

617-466-9658

OPERATING INFORMATION

Name of agricultural event (each event must be applied for separately)

Mass Farmers Market - Davis Square

Location of agricultural event

municipal parking lot adjacent to the Davis Square Plaza

Date(s) and time(s)

10/26, 12:00pm to 6:00pm 11/09, 12:00pm to 6:00pm
11/23, 12:00pm to 6:00pm

What are you selling and/or sampling?

Mead (alcohol made from honey)

Estimated attendance at any one time

1000

Estimated total attendance

3000

Have you ever obtained a Special Farmer Winery License before?	Yes
Describe	Billerica, MA 2022 Winchester, MA 2022 Acton, MA 2022
Have you ever had a Special Farmer Winery License denied, suspended, or revoked?	No
Describe	
Have you ever received a Notice of Violation?	No
Describe	
<i class=icon-check></i> TERMS AND CONDITIONS	
ACKNOWLEDGEMENT, RELEASE AND INDEMNIFICATION, AND WAGE THEFT ORDINANCE RECEIPT	
By clicking submit below, I certify that I am the Applicant or that I am duly authorized to act as an agent for the Applicant	
I certify that all information provided on this application is true and accurate, and I acknowledge that any information found to be false or misleading will result in the forfeiture of this license and may result in a one-year wait before a new application can be submitted, as well as criminal prosecution.	
I certify that the Applicant will make no changes to any component of the business plan described in this application without written notification to, and the prior approval of, the City.	
I certify that the Applicant will adhere to any and all City ordinances, regulations, and conditions pertaining to this license, and I acknowledge that any violation of City ordinances, regulations, and conditions pertaining to this license could subject the Applicant and anyone operating under this license to arrest, fine, and loss of this license.	
I acknowledge that the so-called Wage Theft Ordinance, part of the Municipal Ordinances, has been made available to me as part of this application process. download ordinance	
I certify that the applicant, to my best knowledge and belief, has filed all State tax returns and paid all State taxes required under law.	
I release, discharge and hold harmless, the City of Somerville, a municipal corporation of the Commonwealth of Massachusetts, and its officers, employees, agents and servants from all actions, causes of action, claims, demands, damages, costs, loss of services, expenses and compensation associated with the issuance of this license, and the conduct of anyone operating under this license.	
You must read and accept the above stated terms & conditions	Yes

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL22-000160

File #: 22-016937

Application for: Special Alcohol, Wine and Malt

Organization name: Fox Club

Description: Formal/cocktail dance event

Date(s): October 15th

Setup starts at (time): 7pm

Cleanup after the event ends at (time): 11.45pm

Entertainment: There will be either a DJ and/or a live band.

Attendees:

Max attendance at one time: 150

Maximum attendees accommodated: 150

Attendee fees or suggested donations: There will be no attendee fees

Social or cultural benefits:
None

Event Contact: Benjamin Zeisberg

Alcohol service begins at: 8pm

Event name: Cocktail/Dance/Formal

Location: Warehouse XI, 11 Sanborn Ct

Rain date(s): October 22th

Event starts at (time): 8.30pm

Event ends at (time): 11.30pm

Temporary Structures: None

Total people attending: 150

Total Somerville residents attending: 0

What is your budget for this event: \$8000

Financial benefits:

The rent will go to the Somerville residents in order to keep and maintain this beautiful location for other people to use. Furthermore, we already have plans to work with a local restaurant/bar owner for sourcing and catering.

Event Contact Phone: +1 857 999 7469

Alcohol service ends at: 11.30pm

Event Information	Yes/No	If yes, Describe
Open to the public?	No	
Food served?	Yes	Hors d'oeuvres, snacks, and likely either pizza or another heartier 'grab-and-go' snack will be served.
Caterer used?	No	
Alcohol served?	Yes	Alcohol to be served: Wine and Malt, Indoors There will be a bar where Wine and malt drinks will be served.
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Arrangements:		
Police Detail:	No	
Parking (for Attendees)?	No	
Restrooms?	No	
Liability Insurance?	No	
Will any public parks be used?	No	
Has the event occurred in the last two years?	No	

Approval Conditions:

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL22-000163

File #: 15-008961

Application for: Special Alcohol, All Forms

Organization name: St. Anthony Parish

Description: Dinner and dance

Date(s): October 22, 2022

Setup starts at (time): 4pm

Cleanup after the event ends at (time): 2am

Entertainment: Live Music

Attendees:

Max attendance at one time: 400

Maximum attendees accommodated: 350

Attendee fees or suggested donations: \$40

Social or cultural benefits:

Parishioner's family gathering

Event Contact: 6176254530 Rev Lino Garcia

Alcohol service begins at: 8 pm

Event name: Baile anos 60- 70- 80

Location: Parish hall in the lower church

Rain date(s): n/a

Event starts at (time): 8PM

Event ends at (time): 1am

Temporary Structures: N/A

Total people attending: 350

Total Somerville residents attending: N/A

What is your budget for this event: N / A

Financial benefits:

N/A

Event Contact Phone: 6176254530

Alcohol service ends at: 1am

Event Information	Yes/No	If yes, Describe
Open to the public?	No	
Food served?	Yes	Brazilian food
Caterer used?	No	
Alcohol served?	Yes	Alcohol to be served: All Forms, Indoors Lowe church hall
Grill/open-flame device used?	No	
Streets blocked?	No	
Sidewalks blocked?	No	
Arrangements:		
Police Detail:	Yes	at least 2 officers from Somerville Police detail
Parking (for Attendees)?	Yes	Church's parking lot
Restrooms?	Yes	church's parking lot
Liability Insurance?	Yes	Roman Catholic Archdiocese of Boston
Will any public parks be used?	No	
Has the event occurred in the last two years?	No	

Approval Conditions:

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ALM22-000108

File #: 22-013483

Business Name: Kor Tor Mor

Amendment Type: Changing Corporate or DBA Name

Location: 24 COLLEGE AVE

APPLICANT

Company Name: Kor Tor Mor

Business Address:

24 College Avenue

Somerville, MA 02144

Enter your current business license # AL17-000325

Do you currently serve alcohol? No

**ARE YOU TRANSFERRING/ISSUING/PLEDGING STOCK, OR
ARE YOU CHANGING
DIRECTORS/OFFICERS/PARTNERS/TRUSTEES?** No

ARE YOU CHANGING THE NAME OF YOUR BUSINESS? Yes

Proposed Corporate name JSD MILLIONAIRE INC.

Current corporate name JSD MILLIONAIRE INC.

Proposed DBA name PRIK NAM PLA

Current DBA name KOR TOR MOR

ARE YOU CHANGING YOUR MANAGER? Yes

Name of old manager JAKKRIT DARANUWAT

Name of new manager RACHANEE DARANUWAT

**ARE YOU ALTERING YOUR EXISTING PREMISES OR
OUTDOOR SEATING? SELECT YES TO INCLUDE OUTDOOR
SEATING FOR LICENSE** No

**ARE YOU ADDING, OR ENDING, THE SERVICE OF
CORDIALS AND LIQUEURS?** No

ARE YOU CHANGING YOUR HOURS OF OPERATION? No

ARE YOU CHANGING YOUR ENTERTAINMENT? No

Total Devices indoors 0

Total Devices Outdoors 0.0

Have you ever received a Notice of Violation? No

almln the last 5 years, have you been found guilty, liable, or
responsible, in any judicial or administrative proceeding, for
any violation of the City Wage Theft Ordinance or any State
or Federal laws or regulations regulating the payment of
wages?
<a
href=../Documents/149/WAGE%20THEFT%20ORDINANCE.pdf
target=NEW>City Wage Theft Ordinance No

**You must read and accept the above stated terms &
conditions** Yes

You must read and accept the above stated terms & Yes

conditions

Approved By:
City Treasurer, Approved
Andrea Torres, Approved

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ALM22-000110

File #: 20-015969

Business Name: R.F O'Sullivan & Son

Amendment Type: Changing Entertainment

Location: 282 BEACON ST

APPLICANT

Company Name: R.F. O'Sullivan & Son

Business Address:

282 Beacon Street
Somerville, Ma 02143

Enter your current business license # 05851-RS-1130

Do you currently serve alcohol? Yes

**ARE YOU TRANSFERRING/ISSUING/PLEDGING STOCK, OR
ARE YOU CHANGING
DIRECTORS/OFFICERS/PARTNERS/TRUSTEES?** No

ARE YOU CHANGING THE NAME OF YOUR BUSINESS? No

ARE YOU CHANGING YOUR MANAGER? No

**ARE YOU ALTERING YOUR EXISTING PREMISES OR
OUTDOOR SEATING? SELECT YES TO INCLUDE OUTDOOR
SEATING FOR LICENSE** No

**ARE YOU ADDING, OR ENDING, THE SERVICE OF
CORDIALS AND LIQUEURS?** No

ARE YOU CHANGING YOUR HOURS OF OPERATION? No

ARE YOU CHANGING YOUR ENTERTAINMENT? Yes

Are you changing your entertainment indoors? Yes

Are you changing your indoor seating layout in any way? No

Describe the types of entertainment you will offer indoors We would like to offer Trivia Night and Music Bingo both one night a week. No layout changes are necessary. The host would work off a portable speaker and microphone and station himself at one of our existing tables. Guests would be seated as normal and would participate if wanted. Everyone welcome to join. 21+ to drink.

Will the entertainment indoors be accessible to all ages and all classes of the public? Yes

Are you adding, removing, or changing entertainment devices indoors? No

Total Devices indoors 0

Are you adding, removing, or changing live performance areas indoors? No

Are you adding, removing, or changing areas for patrons to perform indoors (dancing, darts, karaoke, etc.)? No

Are you adding, removing, or changing your entertainment outdoors? No

Have you ever had any license denied, revoked, or No

suspended?

Total Devices Outdoors 0.0

Have you ever received a Notice of Violation? No

alIn the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

[./Documents/149/WAGE%20THEFT%20ORDINANCE.pdf](#)
target=NEW>City Wage Theft Ordinance

You must read and accept the above stated terms & conditions Yes

You must read and accept the above stated terms & conditions Yes

Approved By:

City Treasurer, Approved

Albert Bargoot, Approved

Hans Jensen, Approved

Andrea Torres, Approved

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: ALM22-000113

File #: 22-005996

Business Name: Life Alive Organic Cafe

Amendment Type: Altering Premises or Outdoor Seating

Location: 40 HOLLAND ST

APPLICANT

Company Name: DPB Design

Business Address:

50 Holt Road

Andover, MA 01810

Enter your current business license # AL22-000007

Do you currently serve alcohol? No

ARE YOU TRANSFERRING/ISSUING/PLEDGING STOCK, OR ARE YOU CHANGING DIRECTORS/OFFICERS/PARTNERS/TRUSTEES? No

ARE YOU CHANGING THE NAME OF YOUR BUSINESS? No

ARE YOU CHANGING YOUR MANAGER? No

ARE YOU ALTERING YOUR EXISTING PREMISES OR OUTDOOR SEATING? SELECT YES TO INCLUDE OUTDOOR SEATING FOR LICENSE Yes

Are you changing your indoor premises? No

Are you changing your outdoor premises? Yes

Private Yes

Proposed number of seats outdoors on private property 40

Proposed number of tables outdoors on private property 14

Proposed square footage on private property 1290SF

Are you adding any tents larger than 10 feet by 12 feet? No

Are you adding igloos or dome like structures? No

Are you adding, removing, or changing the location of any barriers or perimeters around the outdoor seating? On private property

Are you adding any heating elements? No

Will you have a designated dog area? No

Do you operate an inn? No

Describe your outreach to the Ward Alderman and neighborhood Emailed correspondence

ARE YOU ADDING, OR ENDING, THE SERVICE OF CORDIALS AND LIQUEURS? No

ARE YOU CHANGING YOUR HOURS OF OPERATION? No

ARE YOU CHANGING YOUR ENTERTAINMENT? No

Total Devices indoors 0

Total Devices Outdoors 0.0

Have you ever received a Notice of Violation? No

alIn the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

You must read and accept the above stated terms & conditions Yes

You must read and accept the above stated terms & conditions Yes

Approved By:

City Treasurer, Approved

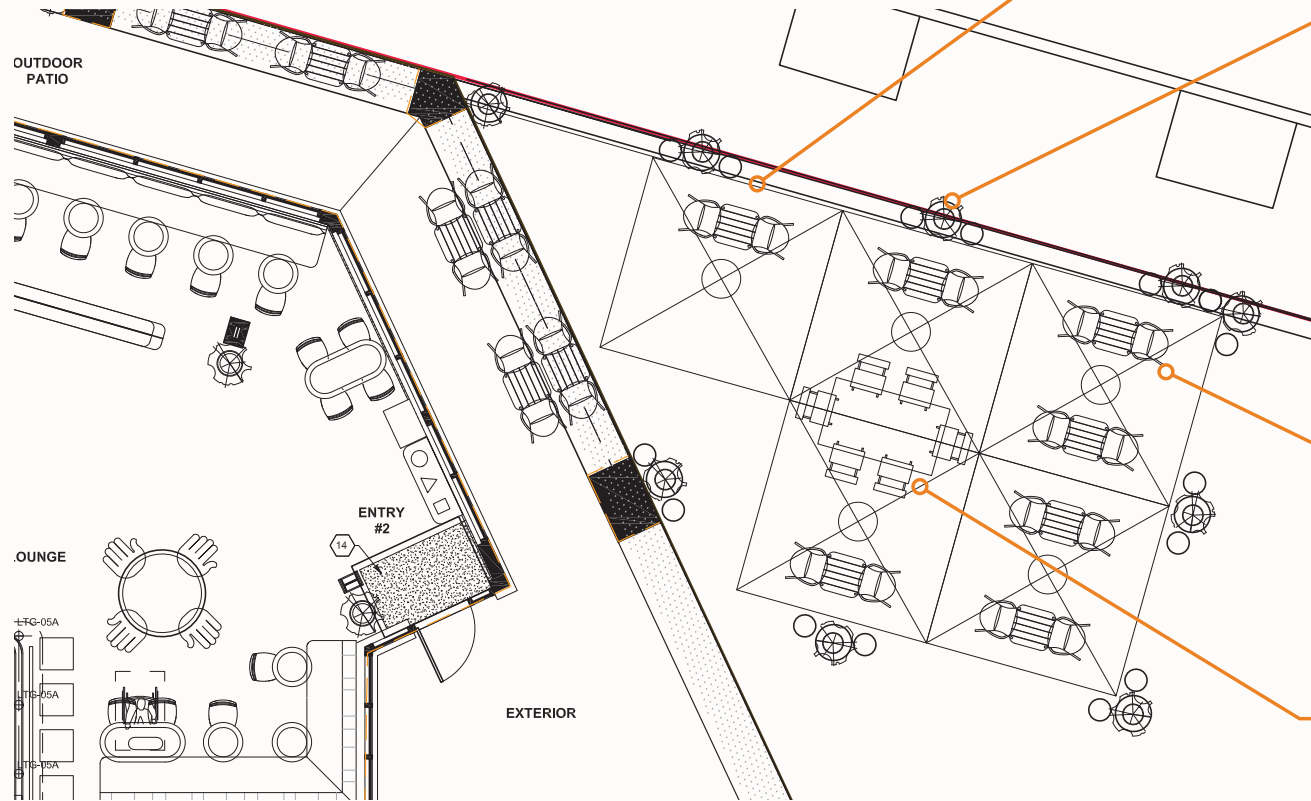
Andrea Como, Approved with Conditions

Adrienne Pomeroy, Approved

Isabela Maia, Approved with Conditions

APPROVAL CONDITION IMM 2022-09-06: Furniture, planters or any other items are not allowed in the public sidewalk.

SEAT COUNT: 20



LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: AL22-000027

File #: 22-012128

Business Name: Hot Tomatoes

Application Type: Common Victualer (without alcohol)

Location: 77 BOW ST

APPLICANT

Company Name: Contempo Builders Inc.

Business Address:

57B Prescott St

Somerville, MA 02143

Business Ownership Type

LLC

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Hot Tomatoes 77 Bow street LLC

Name

Mike Tokatlyan

Name

Mike Tokatlyan

Name

Mike Tokatlyan

Name

Mike Tokatlyan

DBA Name

Hot Tomatoes

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

No

Manager of your establishment

Mike Tokatlyan

Will you offer seating for the consumption of food on premises? (Food includes non-alcoholic beverages)

Yes

Number of floors on the premises

2

Name of floor (Basement, balcony, Main, 2nd floor, etc.)¹

Main

Number of rooms¹

1

Square footage¹

1300

Number of seats (enter 0 if you are not serving food on premises)¹

46

Name of floor (Basement, balcony, Main, 2nd floor, etc.)²

Basement

Number of rooms²

1

Square footage²

1300

Number of seats (enter 0 if you are not serving food on premises)²

0

Number of entrances into the indoor premises

1

Number of exits from the indoor premises

1

Will you offer seating outdoors?

No

Number of rooms indoors	2
Total square footage indoors	2600
Total seating capacity indoors	46
Total square footage outdoors	0
Total seating capacity outdoors	0
Total seating capacity	46
Are you an Educational Institution?	No
Are you a Farmer Pourer?	No
Are you a Package Store?	No
Are you a Private Club?	No
Are you a Restaurant/Common Victualer?	Yes
Are you an Inn?	No
Days and hours of operation to serve food indoors	Mon-Sat: 11am-9pm Sun: Closed
Describe your food services (table service, counter service, cafeteria, packaged food only, etc)	table service
Will you serve alcohol?	No
Will you offer Entertainment indoors(recorded music, tvs, performers, djs, dancing, etc.)?	Yes
Describe the types of entertainment you will offer indoors	tv and music
Will the entertainment indoors be accessible to all ages and all classes of the public?	Yes
Will you have entertainment devices indoors? (Stereos, TVs, movie screens, video games, etc.)	Yes
Describe the devices	tv and speakers
# of Movie Theater Screens indoors new	0
# of Televisions indoors new	1
# of Audio Systems indoors new	1
# of Other Devices indoors new	0
Describe the other indoor devices	tv and speakers
Total Devices indoors	2
Will you have live performers indoors? (Musicians, comedians, actors, athletes, contests, DJs, etc.)	No
Will the patrons perform indoors? (dancing, darts, karaoke, etc.)	No
Will you offer Entertainment outdoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Describe any other businesses serving alcohol on the premises	none
Have you obtained an alcohol license before?	No
Have you ever had a license denied, revoked, or suspended?	No
Have you ever received a Notice of Violation?	No

Describe your outreach to the Ward of Alderman and the neighborhood

n/a

You must read and accept the above stated terms & conditions

Yes

[illegible]

HOT TOMATOES RESTAURANT

PERMIT SET 02.23.22

CLIENT
CONTEMPO BUILDERS
100 TRADE CENTER DRIVE, SUITE G-700
WOBURN, MA 01801
T: (617)-610-0880

ARCHITECT
KHALSA DESIGN INC.
17 VALUO STREET, SUITE 400
SOMERVILLE, MA 02143
T: (617)-591-8682

Architectural Drawing List				
DISCIPLINE	Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
ARCHITECTURAL	A-000	Cover Sheet	02/23/22	
ARCHITECTURAL	A-010	Demolition Floor Plans	02/23/22	
ARCHITECTURAL	A-100	Basement & 1st Floor Plans	02/23/22	7.19.22
ARCHITECTURAL	A-200	Reflected Ceiling Plan	02/23/22	
ARCHITECTURAL	A-300	Interior Elevations & Equipment	07/18/22	7.19.22



Basement & 1st
Floor Plans

A-100

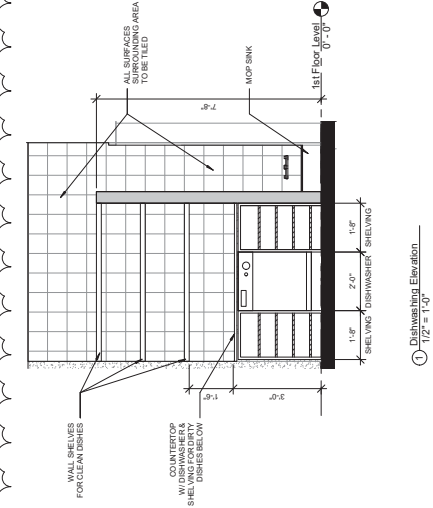
HOT TOMATOES



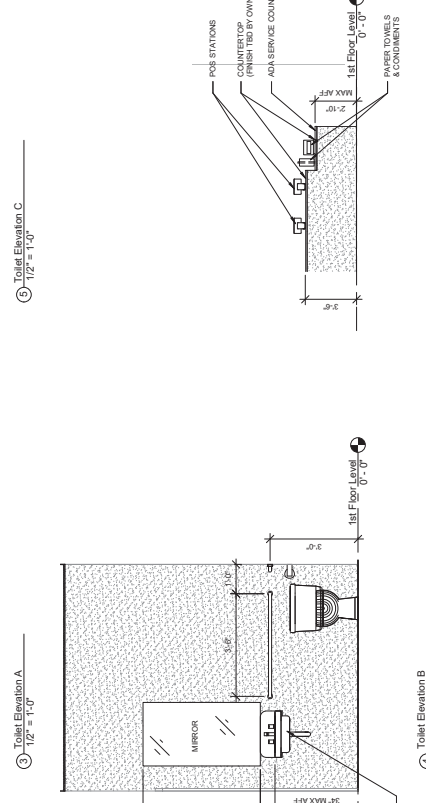
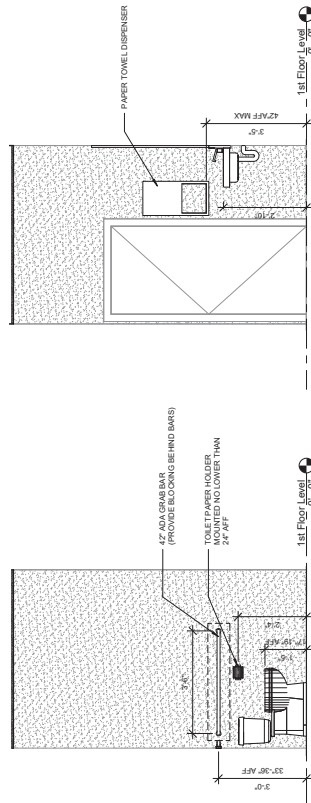
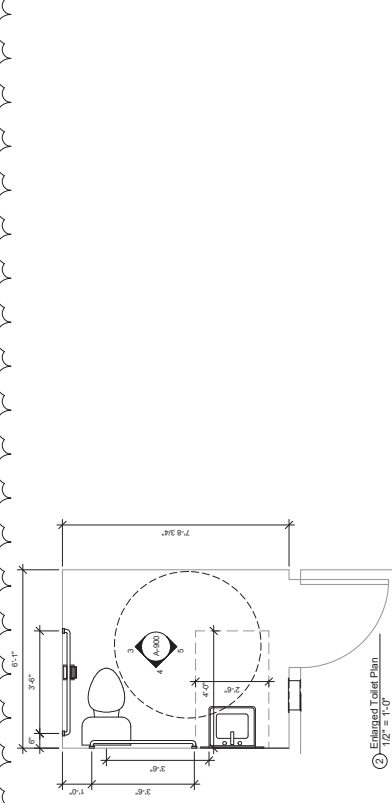
① Basement Floor Level $1/4" = 1'-0"$	② 1st Floor Level $3/4" = 1'-0"$
--	-------------------------------------

① 1st Floor Level
 $1/4^{\circ} = 1^{\circ}.0^{\circ}$

① 1st Floor Level
 $1/4^{\circ} = 1^{\circ}.0^{\circ}$



EQUIPMENT SCHEDULE:			NOTES/ SPECIFICATIONS
#	EQUIPMENT	MANUFACTURER	MODEL #
#1	Pizza Prep Station	ATOSA	MPF-8202 GR
#2	Sandwich Prep Station	ATOSA	MSF-8303 GR
#3	Pizza Ovens	BLODGETT	#1048
#4	Range	SOUTH-BEND	S-SERIES (S3RD)
#5	Refrigerated Cool Bases	ATOSA	MGF8454 GR
#5a	Gas Giddle	STAR	636 TF
#5b	Gas Charbroiler	STAR-MAX	6138R2BF
#6	Countertop Warmer	NEMCO	6055A
#7	Salad Prep Station	ATOSA	MSF8306 GR
#8	Refrigerators	ATOSA	MBF8005 GR
#9	Vent Hood	NAKS	9-0" Short Cycle Makeup Air
#10	Three Bay Sink	ADVANCE TABCO	FC-3-1818-18 RL
#11	Meat Slicer	BIZERBA	GSP H 1150
#12	Ice Machine	SCOTSMAN	UN 1420
#13	Glass Washer	MOTAK	DSP3
#14	Cooler Wall Panels	KOLPAK	4" Thick panels
#14a	Cooler Motor	COPELAND	MKRP0102CAV07Z
#14b	Cooler Fan	UNITED REFRIGERATION	LEC0130B57AMAB0000"
#15	Grease Interceptor	MIFAB	MIC-3
#16	Water Heater	NAVIENT	NPE-2
#17	Hand Sink	ADVANCE TABCO	7-PS-EC-SP



PROJECT NAME

HOT TOMATOES

PROJECT ADDRESS

75 Bow Street
Somerville, MA

CLIENT

Mike Tokatlyan

ARCHITECT



DESIGN
KHALSA

17 VALDO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-891-8822 FAX
617-891-8822

CONSULTANTS:

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TRANSMITTED IN ANY FORM OR BY
ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE
WRITTEN PERMISSION OF KHALSA
DESIGN.

REGISTRATION



Project Number

22008

Date

02/03/22

Drawn By

AutoCAD

Scale

As indicated

REVISIONS

No.	Description	Date
2	Estimate Revisions	7/19/22

Interior Elevations
& Equipment

A-900

HOT TOMATOES

17/02/2022 10:28:08 AM I:\TGS-SEVEN\PROJECTS\22008 Mike Tokatlyan\75 Bow Street\Drawings\00_ARCH-1-SD_DW\Hot Tomatoes_4.28.22.rvt

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: AL22-000033

File #: 22-014390

Business Name: Clover Food Lab

Application Type: Common Victualer (without alcohol)

Location: 330 Foley ST

APPLICANT

Company Name: Clover Food Lab

Business Address:

1075 Cambridge St.

Cambridge, MA 02139

Business Ownership Type

Corporation

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Clover Fast Food Inc

Name

Ayr Muir

Name

Ayr Muir

Name

Ayr Muir

DBA Name

Clover Food Lab

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

No

Manager of your establishment

Jasper Hoitsma

Will you offer seating for the consumption of food on premises? (Food includes non-alcoholic beverages)

Yes

Number of floors on the premises

1

Name of floor (Basement, balcony, Main, 2nd floor, etc.)¹

Main

Number of rooms¹

1

Square footage¹

2709

Number of seats (enter 0 if you are not serving food on premises)¹

57

Square footage²

0

Number of entrances into the indoor premises

2

Number of exits from the indoor premises

2

Will you offer seating outdoors?

On private property

Are you installing any large tents (larger than 10' X 12')

No

Are you installing any domes or dome-like structures

No

Are you installing any barriers or perimeters around the outdoor seating

No

Are you installing any heating elements

No

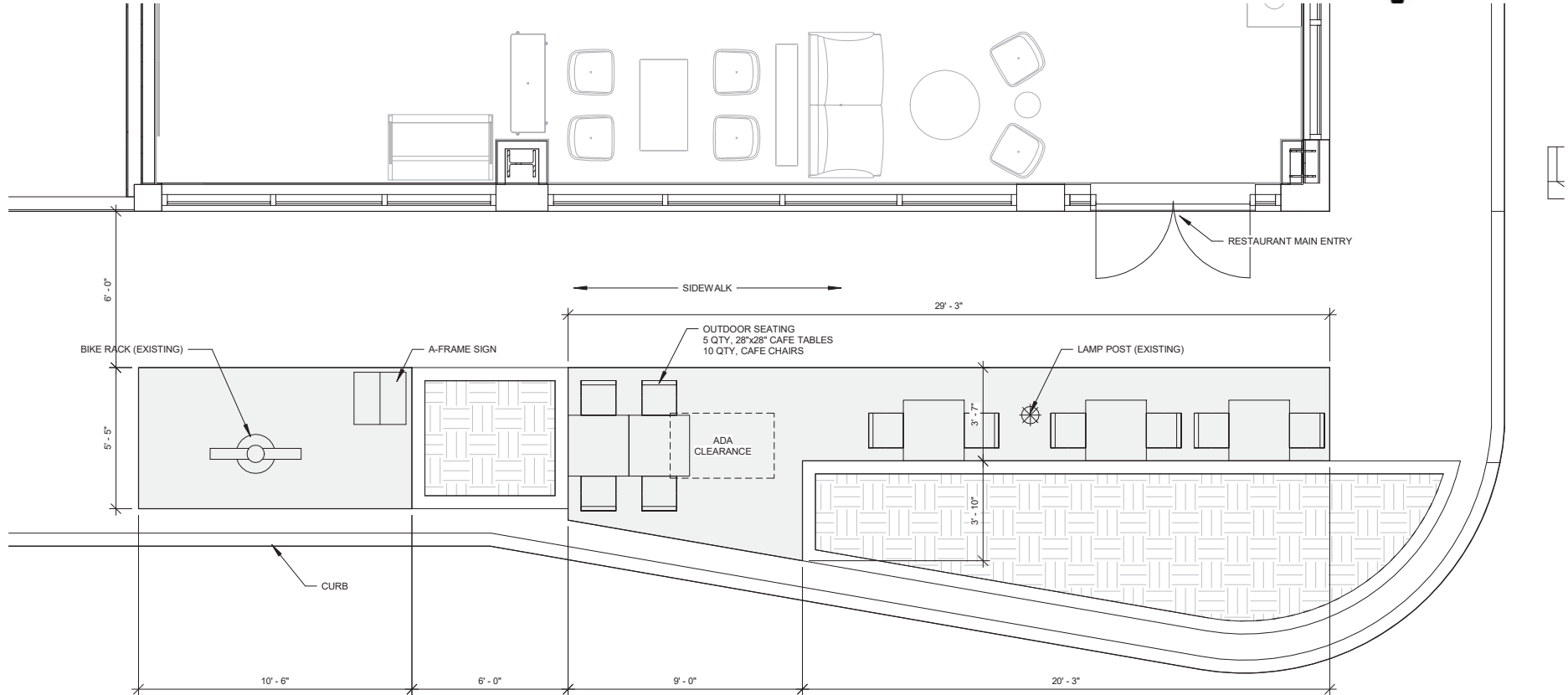
Number of rooms indoors	1
Total square footage indoors	2709
Total seating capacity indoors	57
Total square footage outdoors	118
Total seating capacity outdoors	18
Total seating capacity	75
Are you an Educational Institution?	No
Are you a Farmer Pourer?	No
Are you a Package Store?	No
Are you a Private Club?	No
Are you a Restaurant/Common Victualer?	Yes
Are you an Inn?	No
Days and hours of operation to serve food indoors	Mon-Sun:7AM-8PM
Days and hours of operation to serve food outdoors on private property	Mon-Sun:7AM-8PM
Describe your food services (table service, counter service, cafeteria, packaged food only, etc)	Counter service
Will you serve alcohol?	No
Will you serve alcohol outdoors in season?	No
Will you offer Entertainment indoors(recorded music, tvs, performers, djs, dancing, etc.)?	Yes
Describe the types of entertainment you will offer indoors	Low-volume background music (preset recorded playlist) played from mounted speakers.
Will the entertainment indoors be accessible to all ages and all classes of the public?	Yes
Will you have entertainment devices indoors? (Stereos, TVs, movie screens, video games, etc.)	No
Total Devices indoors	0
Will you have live performers indoors? (Musicians, comedians, actors, athletes, contests, DJs, etc.)	No
Will the patrons perform indoors? (dancing, darts, karaoke, etc.)	No
Will you offer Entertainment outdoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Describe any other businesses serving alcohol on the premises	None
Have you obtained an alcohol license before?	Yes
List each license with the city, state, and year first licensed	LB-99785, Boston, MA, 2018 11599, Cambridge, MA, 2019 11431, Cambridge, MA, 2019 11460, Cambridge, MA, 2019 11496, Cambridge, MA, 2019
Have you ever had a license denied, revoked, or suspended?	No
Have you ever received a Notice of Violation?	No
Describe your outreach to the Ward of Alderman and the neighborhood	We have reached out to Mr. McLaughlin, Ward 1 City Councilor and President, via email and phone.

You must read and accept the above stated terms & conditions ☐ Yes

10 QTY
CHAIR



5 QTY
28"x28" TABLE



330 FOLEY STREET
SOMERVILLE, MA 02145

CLOVER FOOD LAB ASSEMBLY ROW

No.	Description	Date

Outdoor Seating

Project number	Project Number	A701
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
Scale 1/4" = 1'-0"		

furniture designhouse®



Handcrafted European Café Furniture... Built to last!

Square Chestnut Wood Top Folding Table



- Style No: 4113CW-9005
- Commercial Use: Yes
- Feature: Folding
- Frame Material: Galvanized Steel
- Frame Finish: Specialized Powder-Coat (UV; Scratch; Salt Spray Resistant)

Table SKU	Table Width	Table Length	Table Height	Weight
4113 	28" (70cm)	28" (70cm)	30" (76cm)	39 lbs (10kg)

Our well-crafted wood folding dining tables are specially developed for extreme outdoor use.

These wood top tables feature a closed frame design as our standard, with massive supporting crossbeams beneath.

Substantial galvanized steel frame with a powder-coat finish that is UV, Scratch and Salt-spray resistant, ensures years of service.

Combine with wood or metal chairs for a welcoming dining experience.

Available as a **'Quick Ship'** item, featuring European Chestnut slats with a lovely Walnut stain and Jet Black frame.

Also available as 'Special Order' with either European Chestnut or African Teak slats and a choice of 20 frame colors. An open slat design is also available as a 'Special Order' option.

We have complete custom capabilities to manufacture to specifications. Simply the highest quality furniture of its type available and built to Exceed Commercial Specifications!



furniture**design**house®



Handcrafted European Café Furniture... Built to last!

furniture designhouse®



Handcrafted European Café Furniture... Built to last!

Madeleine Chair



- Style No: 5502CW-9005
- Commercial Use: Yes
- Feature: Folding
- Frame Material: Galvanized Steel
- Frame Finish: Specialized Powder-Coat (UV; Scratch; Salt Spray Resistant)
- Seating / Finish Options:
 - European Chestnut / Walnut Stain – Clear Protective Coating

			
Chair Height 33" (85cm)	Back Height 17" (42cm)	Seat Depth 14" (35cm)	Seat Height 18" (47cm)
			
Seat Width 16" (40cm)	Arm Width N/A	Arm Height N/A	Weight 14 lbs. (6.5kg)

This classic cafe folding side chair is designed and hand-crafted in Europe by 'old world' artisans, using the finest materials and is built to last.

A rich wood seating surface; galvanized steel frame and a powder-coat finish that is UV, Scratch and Salt-spray resistant, ensure these chairs are as sturdy as they are stylish.

This chair is available as a '**Quick Ship**' item, featuring European Chestnut slats with a lovely Walnut stain and Jet Black frame.

Also available as 'Special Order' with either European Chestnut or African Teak slats and a choice of 20 frame colors.



[illegible]

ARCHITECT:

ARCHITECTURAL GENERAL NOTES

1. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND SHALL ALSO OBTAIN AND FURNISH OWNER'S REPRESENTATIVE WITH THE CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF COMPLETION. GC IS RESPONSIBLE FOR THE COST OF ALL INSPECTIONS AND CERTIFICATES OF OCCUPANCY AND/OR COMPLETION. ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL BE PRESENT FOR ALL INSPECTIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE ENTIRE SPACE CLEANED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE TIME OF TURNOVER.
3. PRIOR TO TURNING OF SPACE, CONTRACTOR IS TO ARRANGE FOR A NEW CERTIFIED INDEPENDENT MECHANICAL INSPECTION TO BE CONDUCTED BY A MECHANICAL INSPECTOR TO ISSUE A TURNING REPORT TO THE OWNER AND OWNER'S REPRESENTATIVE IN A FORMAT ACCEPTABLE TO THE OWNER.
4. IF REQUESTED BY BUILDING OWNER, THE CONTRACTOR SHALL SECURE NECESSARY APPROVALS FOR PROJECT SPILLER SYSTEM REQUIRED BY BUILDING OWNER'S INSURANCE CARRIER.
5. CONTRACTOR TO TURN OVER ALL KEYS TO THE OWNER'S REPRESENTATIVES AND MARK EACH KEY FOR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL SET ALL THE TIME CLOCKS, THERMOSTATS, ETC. PER THE REQUIREMENTS OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL EXPLAIN THE OPERATION OF ALL MECHANICAL SYSTEMS TO THE OWNER'S REPRESENTATIVE AND PROVIDE COPIES OF OPERATION, MAINTENANCE AND WARRANTY MANUALS.
8. THE CONTRACTOR SHALL MAINTAIN AND SUBMIT ONE COMPLETE SET OF REPRODUCIBLE AS-BUILT DRAWINGS (I.E. LINE RENDERING) CONSIDERED TO BE THE OWNER'S REPRESENTATIVE. THE OWNER SHALL ALSO PROVIDE A PHOTOGRAPH OF THE AS-BUILT DRAWINGS AND A COPY OF ANY ADDITIONAL SHOP DRAWINGS INCLUDING ALL CHANGES AND REVISIONS TO THE OWNER'S REPRESENTATIVE.
9. THE GENERAL CONTRACTOR SHALL SUBCONTRACT WITH AN APPROPRIATELY LICENSED AND BONDED FLOOR FINISHES CONTRACTOR TO INSTALL NEW FLETTERS IN THE HVAC UNITS AFTER CLEANING.
10. THE GENERAL CONTRACTOR SHALL INSTALL NEW FLETTERS IN THE HVAC UNITS WORK.

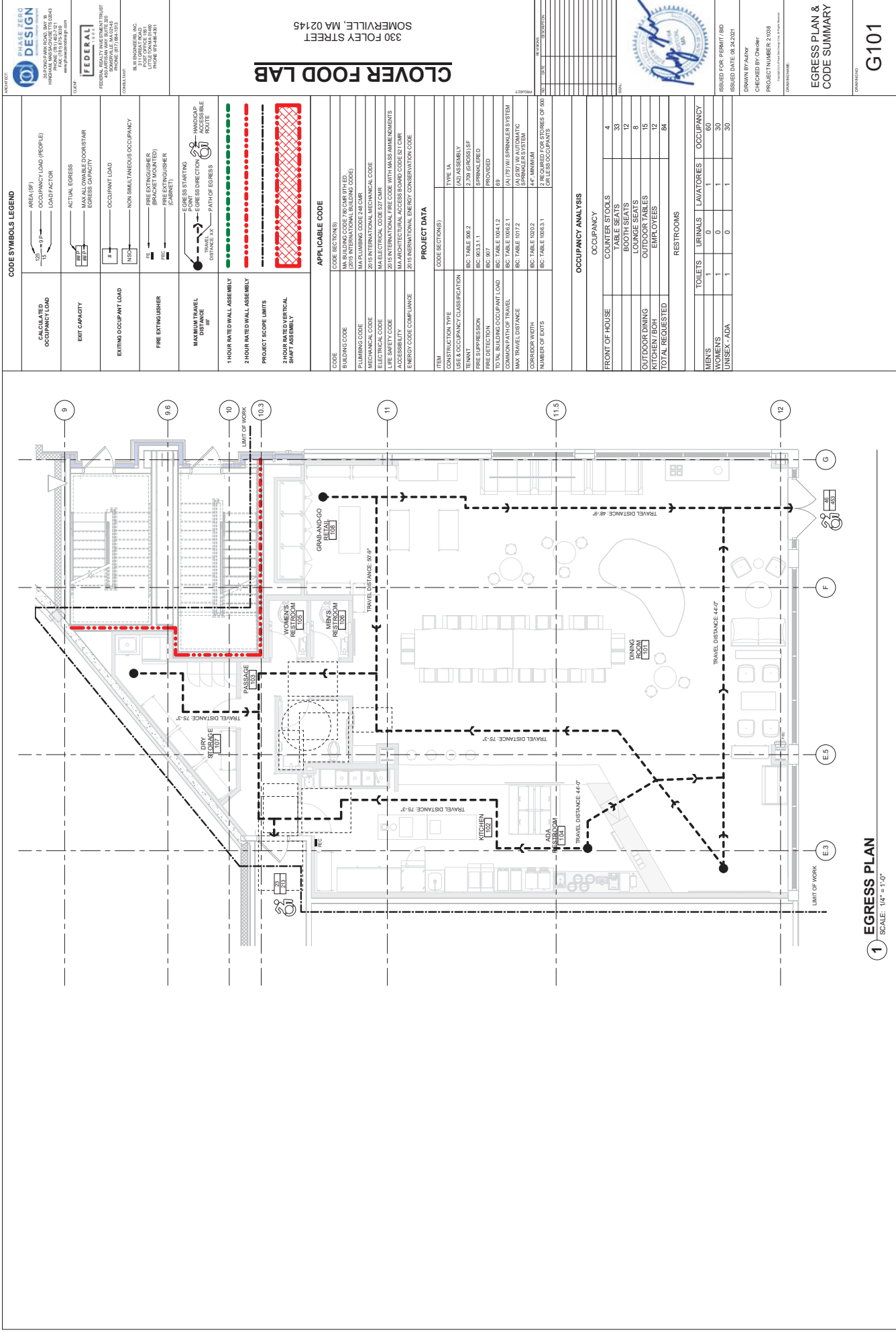
ARCHITECTURAL GENERAL NOTES

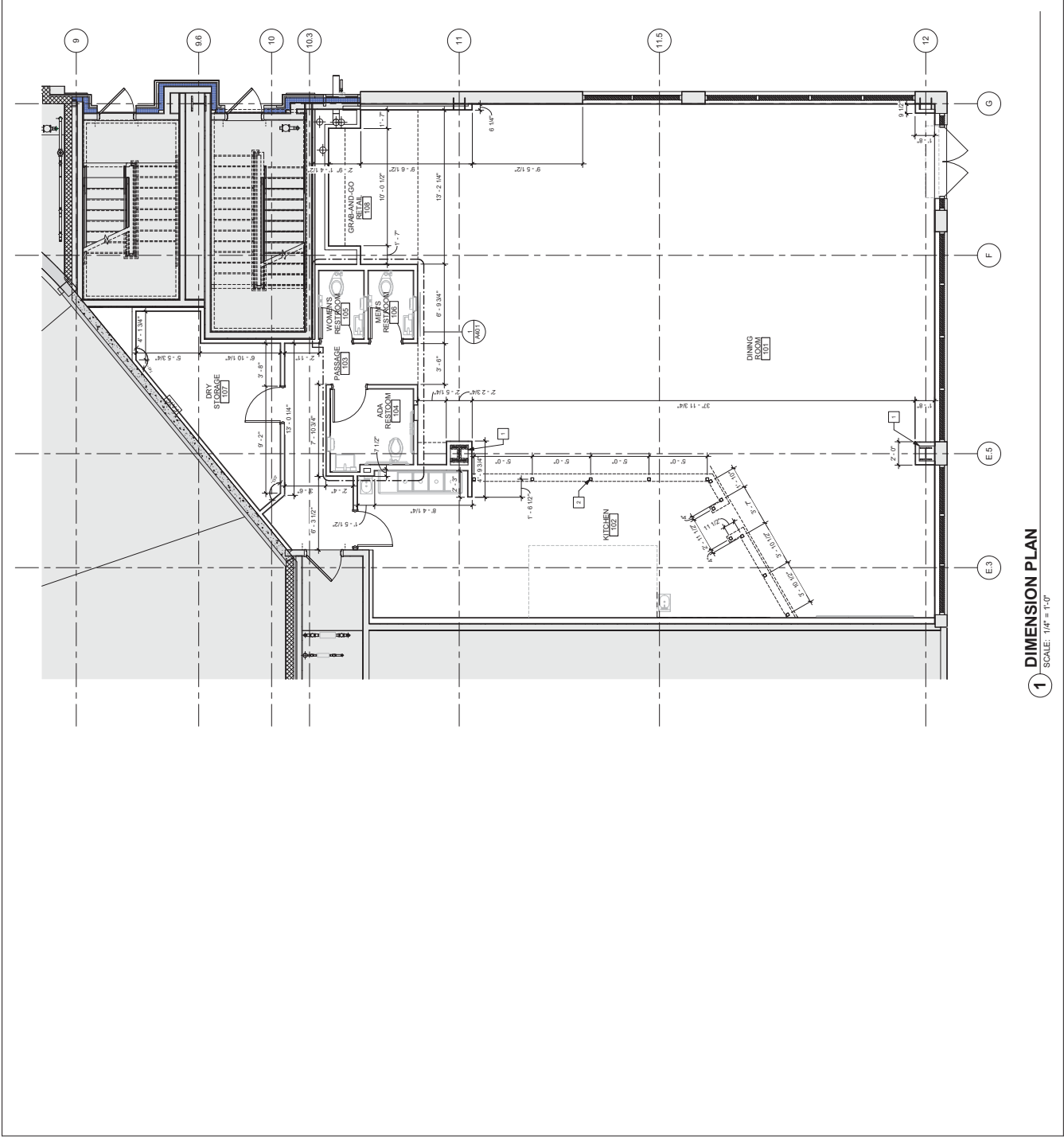
- a. TEMPORARY WATER SERVICES: THE USE OF THE CONTRACT SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR. WATER USED FOR HUMAN CONSUMPTION SHALL CONFORM TO THE REQUIREMENTS OF STATE AND LOCAL AUTHORITIES FOR POTABLE WATER.
 - b. TEMPORARY ELECTRICAL: TEMPORARY ELECTRICAL SERVICE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - c. TEMPORARY HEAT - WHEN REQUIRED FOR PROPER INSTALLATION OR PROTECTION OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY HEATING UNITS AS APPROVED BY THE OWNER OR LOCAL AUTHORITY.
2. **TEMPORARY UTILITY SERVICES PROVIDED BY BUILDING OWNER, IF THESE ELIGIBLE TO DO SO:** THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER ON OBTAINING PERMITS, CONTRACTING THE UTILITY SERVICES.

ARCHITECTURAL GENERAL NOTES

- 

G002





PHASE ZERO
DESIGN

1000 WASHINGTON STREET
FLOOR 10
BOSTON, MA 02111
TEL: 617.552.3301
WWW.PHASEZERO.COM

PHASE ZERO
DESIGN

1000 WASHINGTON STREET
FLOOR 10
BOSTON, MA 02111
TEL: 617.552.3301
WWW.PHASEZERO.COM

FEDERAL

FEDERAL REALTY INVESTMENT TRUST
1000 WASHINGTON STREET
FLOOR 10
BOSTON, MA 02111
TEL: 617.552.3301
WWW.FEDERALREALTY.COM

BLW ENGINEERS, INC.

1000 WASHINGTON STREET
FLOOR 10
BOSTON, MA 02111
TEL: 617.552.3301
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330 FOLEY STREET
SOMERVILLE, MA 02145

CLOVER FOOD LAB

ISSUED FOR: PERMIT / BID
ISSUED DATE: 08.24.2021
DRAWN BY: JH
CHECKED BY: RK
PROJECT NUMBER: 21039
DRAWN FOR: NAME

REFLECTED
CEILING PLAN

A111

GENERAL NOTES - REFLECTED CEILING PLAN

1. G.C. SHALL USE A LASER IN THE INSTALLATION OF ALL NEW CEILING COMPONENTS, SOFFITS, ACT, ETC.

2. ACT CEILING GRIDS SHALL BE CENTERED WITHIN THE ROOM U.N.O.

3. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER THE ENGINEERING PLANS FOR THE LOCATION OF ALL ITEMS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.

4. G.C. SHALL PROVIDE ACCESS DOORS AS NECESSARY, IF NOT SPECIFICALLY LOCATED ON THE ARCHITECTURAL DRAWINGS, TO ALL MECHANICAL ROOMS, ELECTRICAL ROOMS, AND MECHANICAL ROOMS. ACCESS DOORS SHALL BE IDENTIFIED ON THE DRAWINGS.

5. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AN IDENTIFIED NON-HAMPERATE ON THE ELECTRICAL SERVICE BRANCHES OF THE LAND-OWNED ELECTRICAL PANEL. EACH HAMPERATE SHALL BE IDENTIFIED ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A NAME PLATE TO THE DISTRIBUTION PANEL. NAME PLATE SHALL BE PERMANENTLY AFFIXED TO THE DISTRIBUTION PANEL.

6. EMERGENCY LIGHTING SHALL BE INSTALLED ON A SEPARATE CIRCUIT. REFERENCE THE ELECTRICAL PLAN NOTES.

7. THE ELECTRICAL CONTRACTOR SHALL VERIFY THAT THE SERVICE PROVIDED IS ADEQUATE AND NOTIFY THE G.C. AND/OR OWNER IMMEDIATELY IN WRITING OF ANY DEFICIENCIES. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SIGNATURE AND SEAL TO THE ELECTRICAL PLAN, INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, ACoustics, TILE CEILING GRID, OPS/SM, CEILING FINISH, ETC.

8. ALL EQUIPMENT SHALL BEAR ALL LABELS.

9. CAULK CEILING GRID TO DRYWALL.

10. INSTALL CEILING GRIDS PER MANUFACTURER'S SPECS.

11. PROVIDE ACCESS PANELS AS REQUIRED BY LAND-OWNED FOR HVAC, COORDINATE WITH MECHANICAL PLAN.

12. ELECTRICAL CONTRACTOR TO MAKE ALL FINAL CONNECTIONS TO ALL WORK/EXTERIERS IN FIELD TO BE FINISHED BY THE ELECTRICAL CONTRACTOR.

13. THIS SHEET IS NOT FOR USE BY ANY OTHER PARTY. ELECTRICAL BLUE-PRINTS, OR HVAC CONTRACTOR, REFER INSTEAD TO ENGINEERING ELECTRICAL SHEETS FOR LIGHTING FIXTURES, MECHANICAL AND DIFFUSER LOCATIONS.

14. THE DRAWINGS AND SPECS ARE THE SOLE PROPERTY OF THE ARCHITECT. ANY REUSE OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT.

15. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES.

16. VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO PROCEEDING.

17. EACH CONTRACTOR SHALL SUBMIT ALL DRAWING SHEETS TO DETERMINE FULL EXTENT OF WORK. VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO PROCEEDING.

18. SEE A112 LIGHTING FIXTURE DIAGRAMS FOR LIGHTING FIXTURE SCHEDULE.

19. SEE A112 LIGHTING FIXTURE DIAGRAMS FOR LIGHTING FIXTURE SCHEDULE.

20. ALIGN ALL CEILING GRIDS WITHIN ROOM UNLESS OTHERWISE NOTED.

21. SEE FINISH SCHEDULE ON A101 FOR ADDITIONAL CEILING INFO.

22. SEE A112 LIGHTING FIXTURE DIAGRAMS FOR LIGHTING FIXTURE SCHEDULE.

KEY NOTES - REFLECTED CEILING PLAN

Note #

Note Description

1

SURFACE MOUNT TECH UM PANELS DIRECTLY TO CEILING SLAB. REFER TO FINISH.

1A

ADD ALTERNATE: ALL (T) COLOR: WHITE

2

OPS/SM SOFFIT ABOVE KITCHEN

3

OPS/SM SOFFIT ABOVE KITCHEN

4

OPS/SM SOFFIT ABOVE KITCHEN

5

OPS/SM SOFFIT ABOVE KITCHEN

6

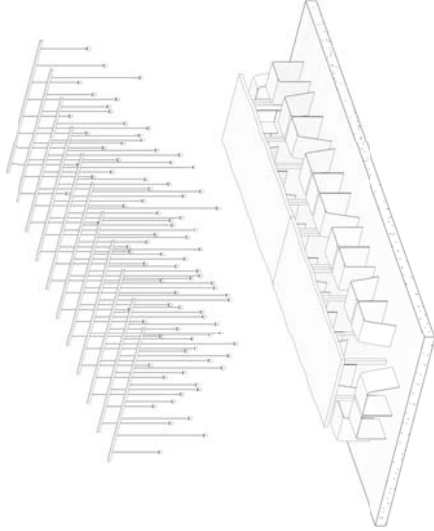
OPS/SM SOFFIT ABOVE KITCHEN

7

OPS/SM SOFFIT ABOVE KITCHEN

Plot Date: 8/24/2021 5:34:17 PM Dwg Filename: C:\Users\jkenan\Documents\21039_Clover Food Lab_CENTRAL 2022_Rev02.dwg

Track Mark	Cloud Feature Drop lengths								
	A	B	C	D	E	F	G	H	
G1	2°	4°	3°	2°	3°	4°	2°	3°	
G2	3°	2°	4°	3°	5°	3°	4°	2°	
G3	4°	3°	5°	6°	3°	4°	5°	3°	
G4	5°	4°	6°	7°	4°	5°	6°	4°	
G5	4°	3°	5°	6°	5°	3°	4°	3°	
G6	3°	6°	3°	3°	3°	4°	6°	5°	
G7	5°	4°	3°	6°	4°	5°	3°	4°	
G8	4°	5°	6°	4°	4°	5°	4°	3°	
G9	3°	4°	5°	4°	5°	3°	4°	5°	
G10	2°	3°	4°	4°	5°	3°	2°	4°	
G11	3°	4°	3°	4°	4°	2°	3°	2°	



2 CLOUD FEATURE AXON

1 **CLOUD F**
SCALE: 3/8" = 1'-0"

Lighting Fixture Schedule												
Type Mark	Manufacturer	Model	Description	Count	Switch	Comments	Location	Type	Comments			
LF1	Custom	Custom LED Strip	LED Fixture, 3000K LED Strip w/ Diffuse Lens, Install w/ Adhesive	5	S1, Toggle	White	Dining Area, General		TENANT FURNISHED			
LF2	Custom	Custom LED Strip	LED Fixture, 3000K LED Strip w/ Diffuse Lens, Install w/ Adhesive	5	S2, Toggle	White	Dining Area, General		TENANT FURNISHED			
LF3	Contech	CRS8x30K-P-CRS8-147-ORD-1-P-P	Quick Release RW LED Gravity-Fit Pendants, White Finish	88	S3, Toggle	Dimmer, White	Dining Area, Communal Table		GC FURNISHED			
LF4	WAC Lighting	HALED202-30-WT	LED Track Luminaire - H Track w/ 36" Extension, White Finish	11	S4, Toggle	Dimmer, White	Kitchen, Service Counter		GC FURNISHED			
LF5a	WAC Lighting	HALED202-30-WT	LED Track Luminaire (Spot-Lense) - H Track, White Finish	18	S5, Toggle	Dimmer, White	Kitchen, Prep Area		GC FURNISHED			
LF5b	WAC Lighting	HALED202-30-WT	LED Track Luminaire (Flood-Lense) - H Track, White Finish	6	S6, Toggle	White	Storage		GC FURNISHED			
LF6	Lithonia Lighting	WF4LED-30K-90CRMW	4" LED Recessed Water Downlight, Switchable, White Finish	4	S7, Toggle	Dimmer, White	Hallway		GC FURNISHED			
LF6	Lithonia Lighting	WF4LED-30K-90CRMW	4" LED Recessed Water Downlight, Switchable, White Finish	4	S8, Toggle	Dimmer, White	Niche		GC FURNISHED			
LF7	Lithonia Lighting	WF4ADU-LED-30K-90CRMW	4" LED Recessed Water Downlight, Gimbal, Switchable, White Finish	6	S9, Toggle	Dimmer, White	<varies>		GC FURNISHED			
LF8	WAC Lighting	DS-PD06-P93x-WT (DS-PD024 Ext Rods)	Tube Architectural Downlight	3	S10, Toggle	Dimmer, White	<varies>		GC FURNISHED			
LF9	Progress Lighting	P73000T-030-30	LED 47 inch, LED Strip Light, Ceiling Light, White Finish	1	S11, Vacuaty	White	Restroom, ADA		GC FURNISHED			
LF9	Progress Lighting	P73000T-030-30	LED 47 inch, LED Strip Light, Ceiling Light, White Finish	1	S12, Vacuaty	White	Restroom, Men's		GC FURNISHED			
LF9	Progress Lighting	P73000T-030-30	LED 47 inch, LED Strip Light, Ceiling Light, White Finish	1	S13, Vacuaty	White	Restroom, Women's		GC FURNISHED			
LF10	Progress Lighting	P73000T-030-30	LED 47 inch, LED Strip Light, Ceiling Light, White Finish	2	S14, Vacuaty	White	Restroom, ADA		GC FURNISHED			
LF10	Progress Lighting	P73000T-030-30	LED 47 inch, LED Strip Light, Ceiling Light, White Finish	2	S15, Vacuaty	White	Restroom, ADA		GC FURNISHED			
LF11	Progress Lighting	P73000T-030-30	LED 42 inch, LED Strip Light, Ceiling Light, White Finish	2	S16, Vacuaty	White	Restroom, Women's		GC FURNISHED			
LF11	Progress Lighting	Maskee 3W115-N (White)	T10 & Oscillating Ceiling Fan	1	S14, Toggle	White	Plaster		GC FURNISHED			

[illegible]

ISSUED FOR: PERMIT / BID	DRAWN BY: JH
ISSUED DATE: 08.24.2021	CHECKED BY: RK
	PROJECT NUMBER: 21038

DRYING ING NAME:

LIGHT FIXTURE DIAGRAMS

UNCLASSIFIED

A112

CLOVER FOOD LAB

**PHASE ZERO
DESIGN**
ARCHITECTS • INTERIOR DESIGNERS

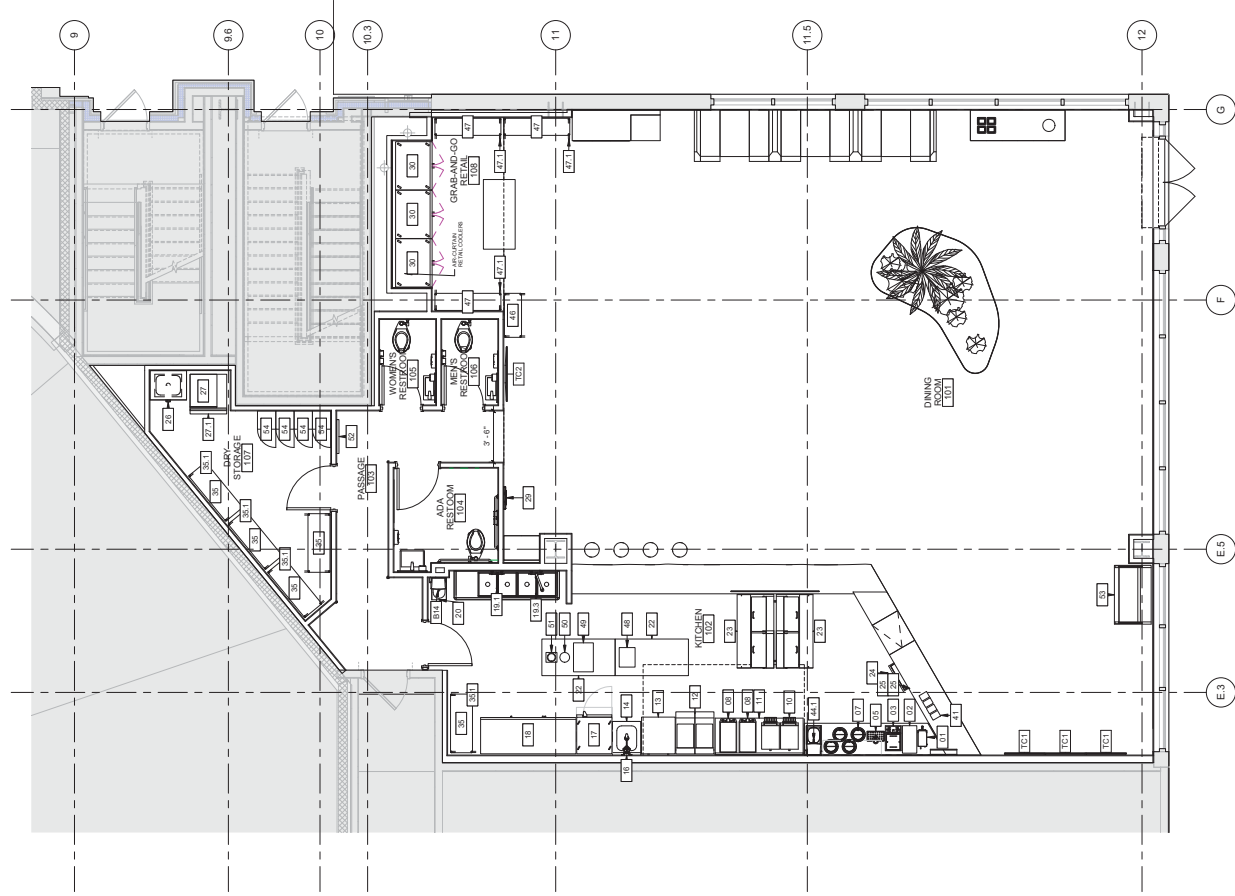
35 POND PARK ROAD, BAY '96
HINGHAM, MASSACHUSETTS 02043
PHONE: (781) 462-7121
FAX: (781) 875-3039
www.phasezerodesign.com

CLIENT: **FEDERAL** 1963
FEDERAL REALTY INVESTMENT TRUST
450 ARTISAN WAY SUITE 320
SOMERVILLE, MA 02145
PHONE: (617) 864-1553

CONSULTANT:
BLW ENGINEERS, INC.
311 GREAT ROAD
POST OFFICE 1551
LITTLETON MA 01460
PHONE: 978-480-4301

EQUIPMENT PLAN NOTES

1. REFER TO EQUIPMENT SCHEDULE ON A132
2. FURNITURE NOT SHOWN FOR CLARITY
3. TENANT TO FURNISH AND INSTALL ALL TENANT SUPPLIED KITCHEN EQUIPMENT, WITH THE EXCEPTION OF THE KITCHEN EXHAUST FAN AND EXHAUST HOOD, WHICH THE LANDLORD WILL FURNISH AND INSTALL. LANDLORD TO MAKE FINAL CONNECTIONS FOR ALL TENANT PROVIDED KITCHEN EQUIPMENT.



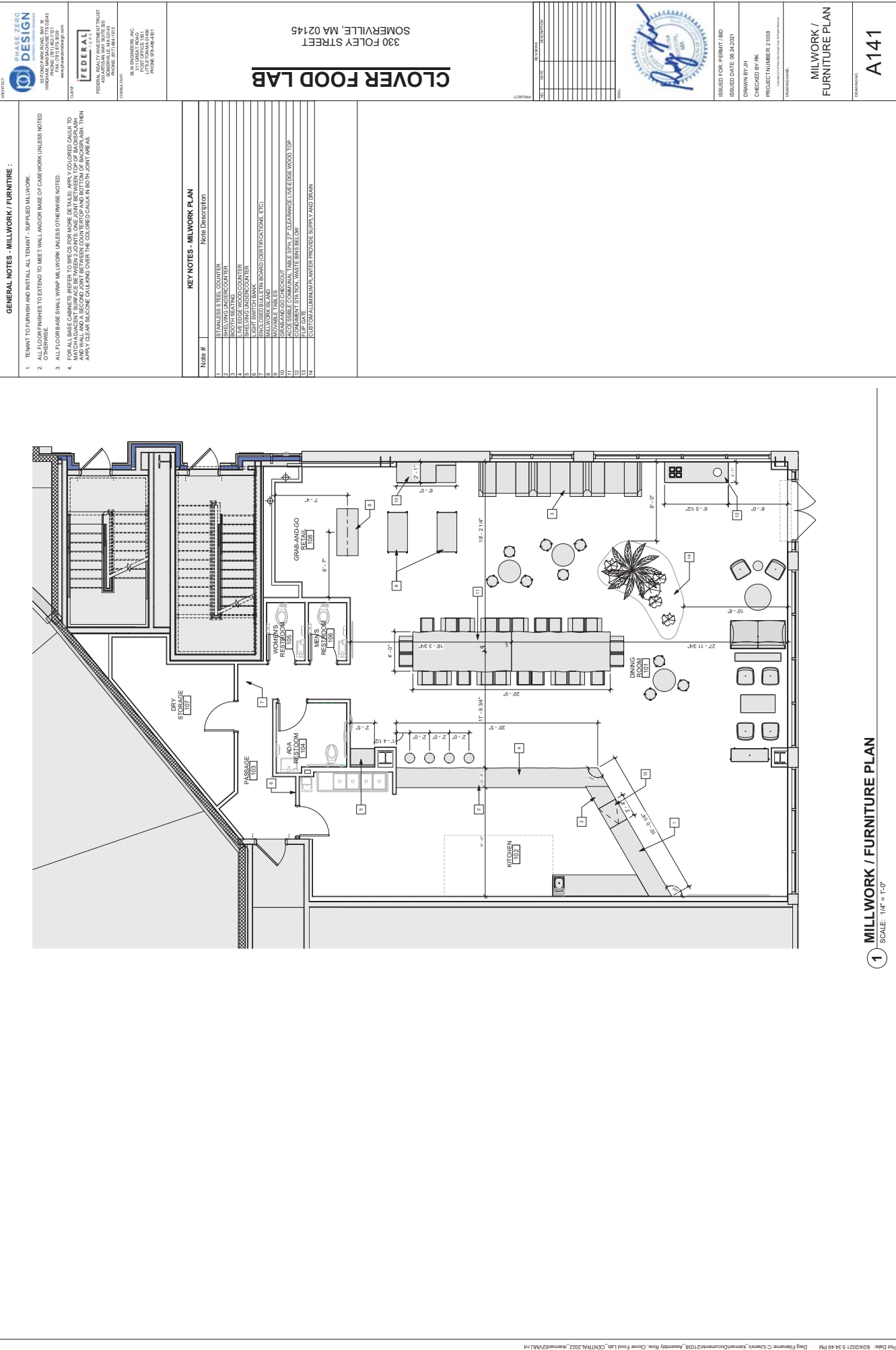
1 **EQUIPMENT PLAN**
SCALE: 1/4" = 1'-0"

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ISSUED FOR: PERMIT / BD	
ISSUED DATE: 08.24.2021	
DRAWN BY: JH	
CHECKED BY: RK	
PROJECT NUMBER: 21038	
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DRAWING NAME:	

EQUIPMENT PLAN

DRAWING NO. A131



GENERAL NOTES - MILLWORK / FURNITURE :

1. TENANT TO FINISH AND INSTALL ALL TENANT - SUPPLIED MILLWORK.
2. ALL FLOOR FINISHES TO EXTEND TO MEET WALL AND/OR BASE OF CASEWORK UNLESS NOTED OTHERWISE.
3. ALL FLOOR BASE SHALL WRAP MILLWORK UNLESS OTHERWISE NOTED.
4. FOR ALL BASE CABINETS REFER TO SPECS FOR MORE DETAILS. APPLY COLORED CAULK TO MATCH ADJACENT SURFACE BETWEEN JOINTS. ONE JOINT BETWEEN TOP OF BLOODSPASH AND FLOOR. ONE JOINT BETWEEN TOP OF BLOODSPASH AND FLOOR. ONE JOINT BETWEEN TOP OF BLOODSPASH AND FLOOR. THEN APPLY CLEAR SILICONE CAULK OVER THE COLORED CAULK IN BOTH JOINT AREAS.

Note #	Note Description
1	STAINLESS STEEL COUNTER
2	SHIELDING UNDERCOUNTER
3	SHIELDING UNDERCOUNTER
4	SHIELDING UNDERCOUNTER
5	SHIELDING UNDERCOUNTER
6	SHIELDING UNDERCOUNTER
7	ENCLOSED BUILT IN BOARD CERTIFICATION (E.T.C.)
8	MILLWORK ISLAND
9	GRAB AND GO CHECKOUT
10	ACCESSIBLE COMMUNAL TABLE 30"X 27" CLEARANCE LIVE EDGE WOOD TOP
11	ACCESSIBLE COMMUNAL TABLE 30"X 27" CLEARANCE LIVE EDGE WOOD TOP
12	ACCESSIBLE COMMUNAL TABLE 30"X 27" CLEARANCE LIVE EDGE WOOD TOP
13	FLIP GATE
14	CUSTOM ALUMINUM PLANTER PROVIDE SUPPLY AND DRAIN

CLOVER FOOD LAB
330 FOLEY STREET
SOMERVILLE, MA 02145

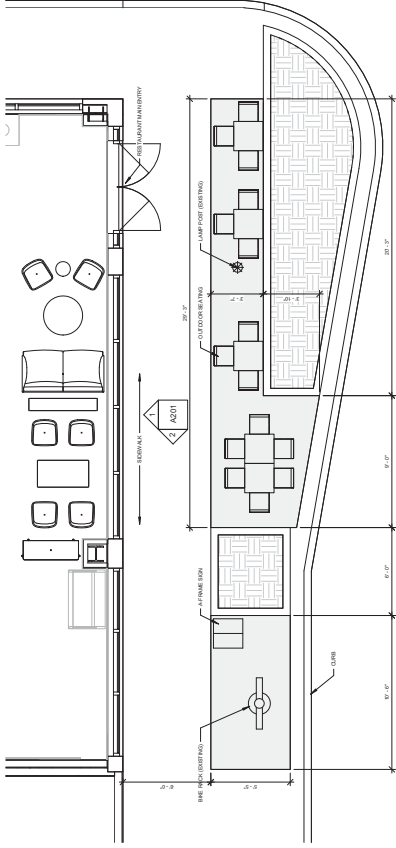
NO.	DATE	BY	DESCRIPTION
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2	08/24/2021	JH	ISSUED FOR PERMIT / BID
3	08/24/2021	JH	ISSUED FOR PERMIT / BID
4	08/24/2021	JH	ISSUED FOR PERMIT / BID
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85	08/24/2021	JH	ISSUED FOR PERMIT / BID
86	08/24/2021	JH	ISSUED FOR PERMIT / BID
87	08/24/2021	JH	ISSUED FOR PERMIT / BID
88	08/24/2021	JH	ISSUED FOR PERMIT / BID
89	08/24/2021	JH	ISSUED FOR PERMIT / BID
90	08/24/2021	JH	ISSUED FOR PERMIT / BID
91	08/24/2021	JH	ISSUED FOR PERMIT / BID
92	08/24/2021	JH	ISSUED FOR PERMIT / BID
93	08/24/2021	JH	ISSUED FOR PERMIT / BID
94	08/24/2021	JH	ISSUED FOR PERMIT / BID
95	08/24/2021	JH	ISSUED FOR PERMIT / BID
96	08/24/2021	JH	ISSUED FOR PERMIT / BID
97	08/24/2021	JH	ISSUED FOR PERMIT / BID
98	08/24/2021	JH	ISSUED FOR PERMIT / BID
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100	08/24/2021	JH	ISSUED FOR PERMIT / BID



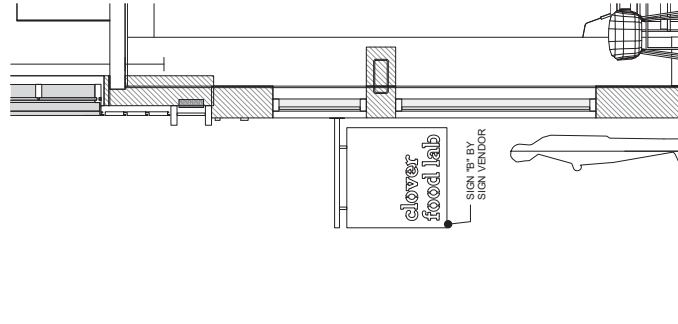
ISSUED FOR PERMIT / BID
ISSUED DATE: 08/24/2021
DRAWN BY: JH
CHECKED BY: RK
PROJECT NUMBER: 21039
DRAWN FOR: NAME

MILWORK /
FURNITURE PLAN

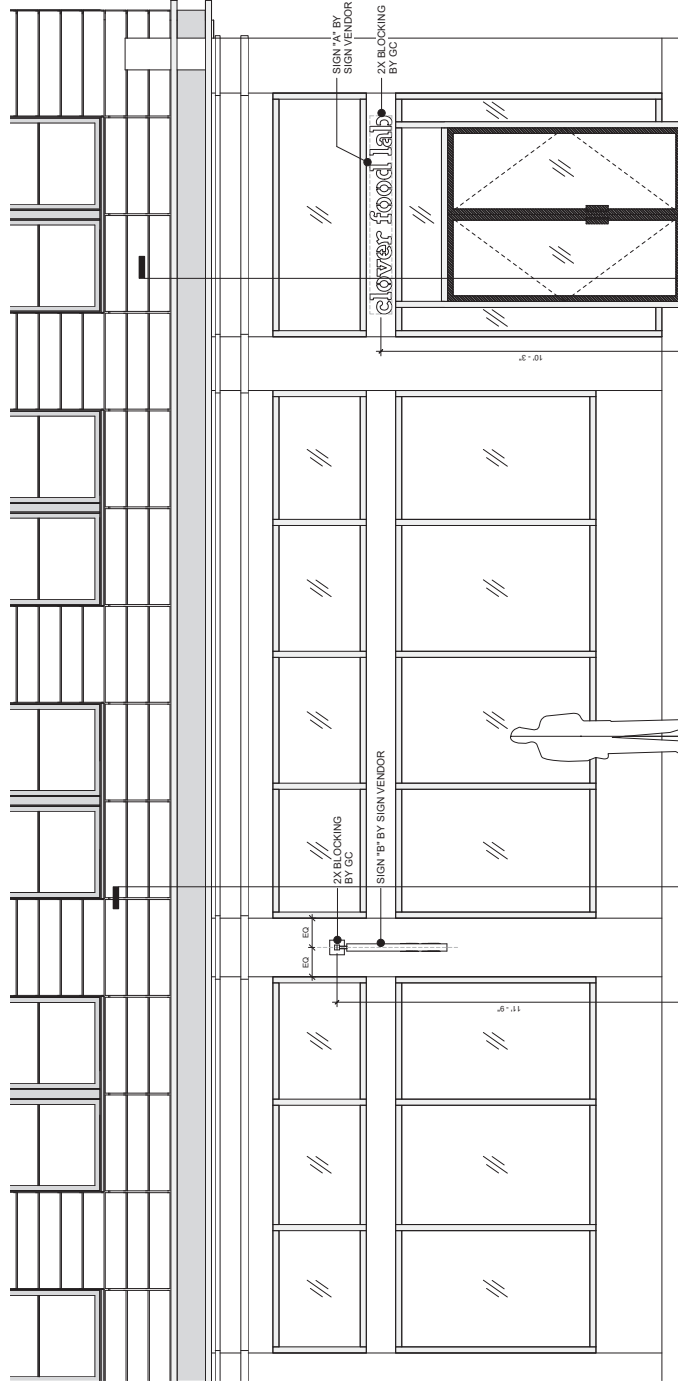
A141



3 OUTDOOR SEATING - FOR REFERENCE ONLY
SCALE: 1/4" = 1'-0"



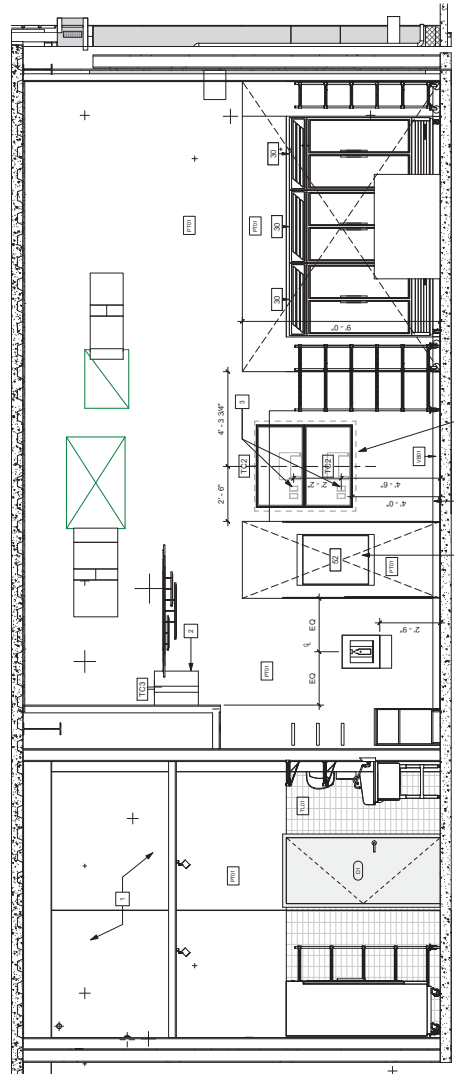
2 EXTERIOR ELEVATION - SIDE
SCALE: 1/2" = 1'-0"



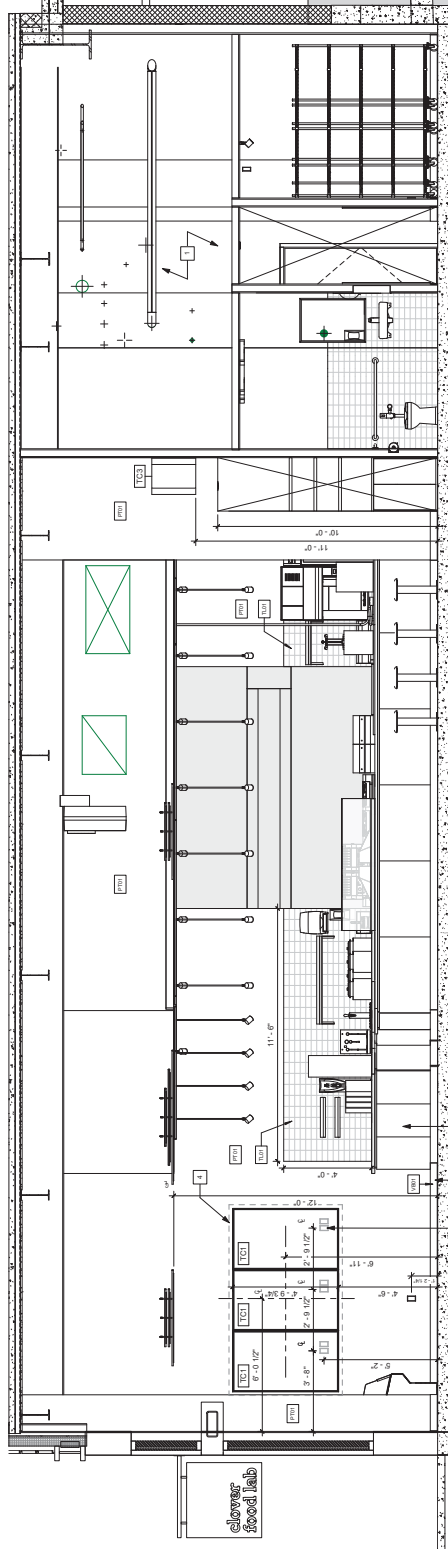
1 EXTERIOR ELEVATION - NORTH
SCALE: 1/2" = 1'-0"

KEY NOTES - INTERIOR SECTIONS	
Note #	Note Description
1	MECHANICAL SLOPE
2	WALL MOUNTED SPEAKER
3	PROVIDE DUPLEX AND AUDIO LIN
4	DUPLEX POWER & CAT6 DATA
5	PROVIDE DUPLEX AND AUDIO LIN AT EACH DISPLAY - TYPICAL
6	BLOCKING AS REQUIRED
7	WALL COATERS
8	CORIAN FRONT PANELS
9	CUSTOM LIGHT FIXTURES
10	GRAB AND GO COOLER
11	MENU DISPLAYS
12	AIR CURTAIN
13	CONDIMENT STATION, WASTE BINS BELOW
14	BOX-CUT AND PAINT PROTRUDING STRUCTURE AT WALLS
15	PAINT EXISTING STRUCTURE PT 01
16	CERTIFICATE BULLETIN

17	MECHANICAL SLOPE
18	WALL MOUNTED SPEAKER
19	PROVIDE DUPLEX AND AUDIO LIN
20	DUPLEX POWER & CAT6 DATA
21	PROVIDE DUPLEX AND AUDIO LIN AT EACH DISPLAY - TYPICAL
22	BLOCKING AS REQUIRED
23	WALL COATERS
24	CORIAN FRONT PANELS
25	CUSTOM LIGHT FIXTURES
26	GRAB AND GO COOLER
27	MENU DISPLAYS
28	AIR CURTAIN
29	CONDIMENT STATION, WASTE BINS BELOW
30	BOX-CUT AND PAINT PROTRUDING STRUCTURE AT WALLS
31	PAINT EXISTING STRUCTURE PT 01
32	CERTIFICATE BULLETIN



2 INTERIOR OVERALL NORTH SECTION
SCALE: 3/8" = 1'-0"



1 INTERIOR OVERALL WEST SECTION
SCALE: 3/8" = 1'-0"

CLOVER FOOD LAB
330 FOLEY STREET
SOMERVILLE, MA 02145

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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ISSUED FOR: PERMIT / BID
ISSUED DATE: 08/24/2021
DRAWN BY: JH
CHECKED BY: RK
PROJECT NUMBER: 21039
DRAWN FOR: NAME

INTERIOR
SECTIONS

A301

330 FOLEY STREET
SOMERVILLE, MA 02145

This architectural floor plan shows a building layout with several rooms and corridors. The plan includes the following details:

- Rooms and Dimensions:**
 - Top right: A large room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Below it: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Bottom right: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Bottom left: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Center: A large room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Left side: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
- Corridors and Entrances:**
 - Top left: A corridor with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Bottom left: A corridor with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Center: A corridor with a width of $10' - 0"$ and a height of $10' - 0"$.
- Other Features:**
 - Top right: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Bottom right: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Bottom left: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Center: A room with a width of $10' - 0"$ and a height of $10' - 0"$.
 - Left side: A room with a width of $10' - 0"$ and a height of $10' - 0"$.

A302

RAW/ENG NO.

INTERIOR SECTIONS

ISSUED FOR: PERMIT / BID
ISSUED DATE: 08.24.2021
DRAWN BY: JH
CHECKED BY: RK
PROJECT NUMBER: 21038

ENVIRONMENTAL

[illegible]

1. REFER TO FINISH SCHEDULE ON A101
- 2.
3. SEE G001 FOR TYPICAL MOUNTING HEIGHTS FOR ALL TOILET ROOM FIXTURES U.N. G.C. TO INSTALL ALL TOILET ACCESSORIES ACCORDING TO ADA AND ANSI REGULATIONS.
- 4.
5. FIELD VERIFY ALL DIMENSIONS.

6. APPLY COLORED CAULK TO MATCH ADJACENT SURFACE BETWEEN 2 JOINTS. ONE JOINT BETWEEN TOP OF BACKSPLASH AND WALL. A SECOND JOINT BETWEEN COUNTERTOP AND BOTTOM OF BACKSPLASH. APPLY CLEAR SILICONE CAULKING OVER THE COLORED CAULK IN BOTH JOINT AREAS.

9. COUNTERTOP SUPPORT BRACKETS SHALL SPAN A MAXIMUM OF 36" O.C. PRIME AND PAINT BRACKETS TO MATCH ADJACENT WALL SURFACE.

1	FLAT SCHLUTER AT ALL TILE EDGES		
KEY NOTES - INTERIOR ELEVATIONS <table border="1"> <thead> <tr> <th>Note #</th> <th>Note Description</th> </tr> </thead> </table>		Note #	Note Description
Note #	Note Description		
CONSULTANT: BLW ENGINEERS INC. 1000 WEST 10TH AVENUE SUITE 1000 PORT PORTAGE, ONTARIO L1T 1C6 PHONE: (416) 466-4371			

KEY NOTES - INTERIOR ELEVATIONS

LITTLETON MA 01460 PHONE 978-486-4301	
Note #	Note Description
1	FLAT SCHLUTER AT ALL TILE EDGES

RESTROOM/KITCHEN FIXTURE SCHEDULE

Type	Manufacturer	Model	Description	Count
1	GE	GE 5000	GE 5000	1
2	GE	GE 5000	GE 5000	1
3	GE	GE 5000	GE 5000	1
4	GE	GE 5000	GE 5000	1
5	GE	GE 5000	GE 5000	1
6	GE	GE 5000	GE 5000	1
7	GE	GE 5000	GE 5000	1
8	GE	GE 5000	GE 5000	1
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100	GE	GE 5000	GE 5000	1

330 FOLEY STREET
SOMERVILLE, MA 02145

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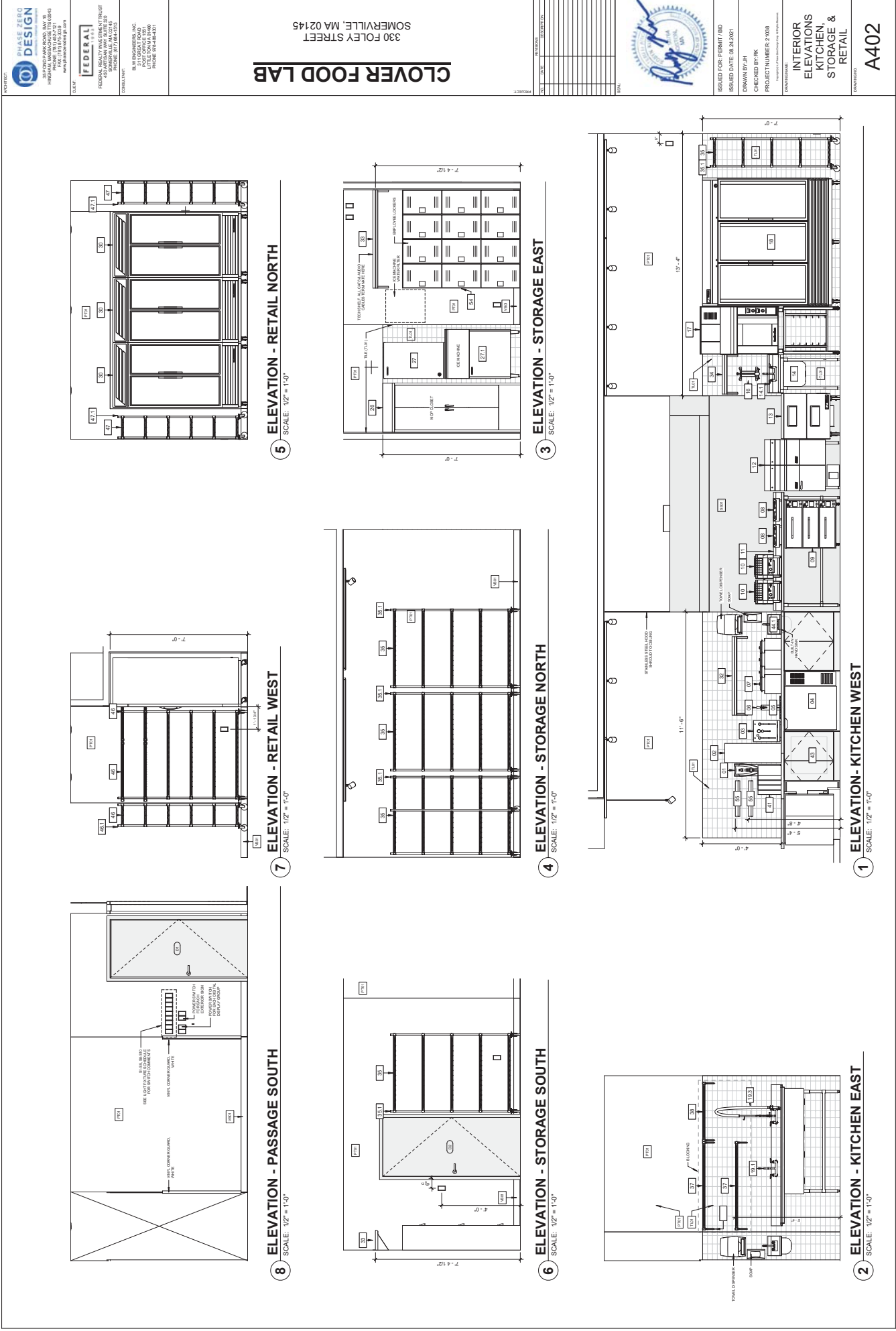
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INTERIOR
ELEVATIONS
RESTROOMS

DRAWING NO.

A401







BLW ENGINEERS, INC.
311 GREAT ROAD
POST OFFICE 1551
LITTLETON MA 01460
PHONE 617-486-4301

CLOVER FOOD LAB

[illegible]

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DRAWN BY: JH
CHECKED BY: BY

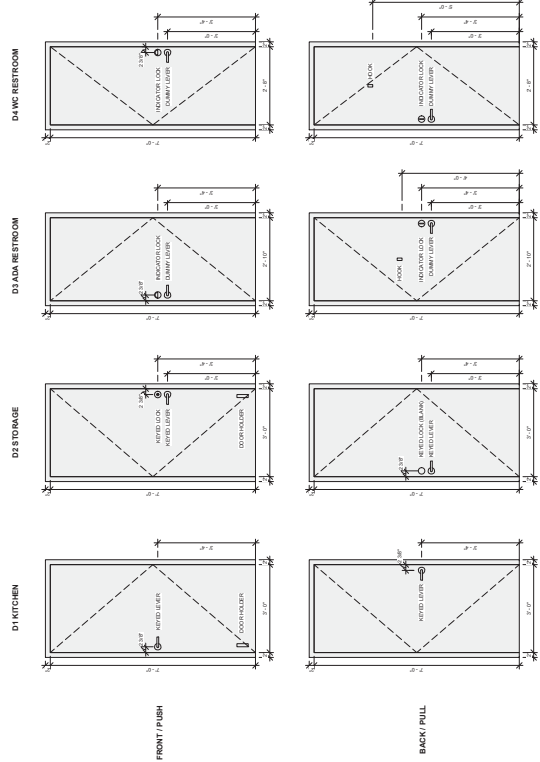
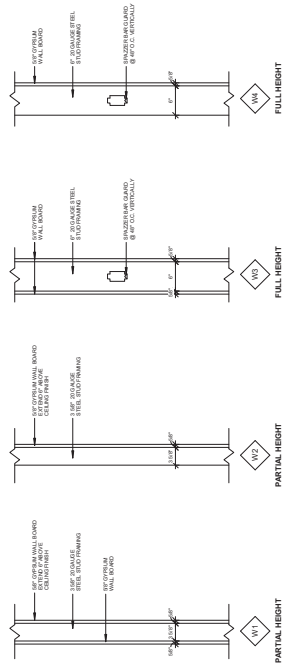
CHECKED BY: NA
PROJECT NUMBER: 21038

DRAWING NAME:

DOOR SCHEDULE & PARTITION TYPES

DRAWING NO.

A601



DOOR SCHEDULE								
Type	Description	Count	Door			Material	Hardware	Type
			Width	Height	Thickness			
D1	Single Flush Door	1	3'-0"	7'-0"	0" - 1 3/4"	Steel, Clear Coat	2" Schlage Broadway Lever (F51 BRW 626 - Satin Chrome)	Kitchen_36x84
D2	Single Flush Door	1	3'-0"	7'-0"	0" - 1 3/4"	Steel, Clear Coat	2" Rockwood Lever Door Holder, Satin Chrome Schlage Broadway Lever (F51 BRW 626 - Satin Chrome)	Storage_36x84
D3	Single Flush Door	1	2'-10"	7'-0"	0" - 1 3/4"	Steel, Clear Coat	2" Schlage Broadway Lever (F170 BRW 626 - Satin Chrome) Schlage B590 Lock Assembly Indicator Rockwood Black Style Door Holder, Silver Coat Hook (to match)	ADA_36x84
D4	Single Flush Door	2	2'-8"	7'-0"	0" - 1 3/4"	Steel, Clear Coat	2" Schlage Broadway Lever (F170 BRW 626 - Satin Chrome) Schlage B590 Lock Assembly Indicator Rockwood Black Style Door Holder, Silver Coat Hook (to match)	WC_32x84

CLOVER FOOD LAB

330 FOLEY STREET
SOMERVILLE, MA 02145

[illegible]

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ISSUED DATE: 08.24.2021	
DRAWN BY: JH	
CHECKED BY: RK	
PROJECT NUMBER: 21038	

DRAWING NAME:

3D VIEWS

A901



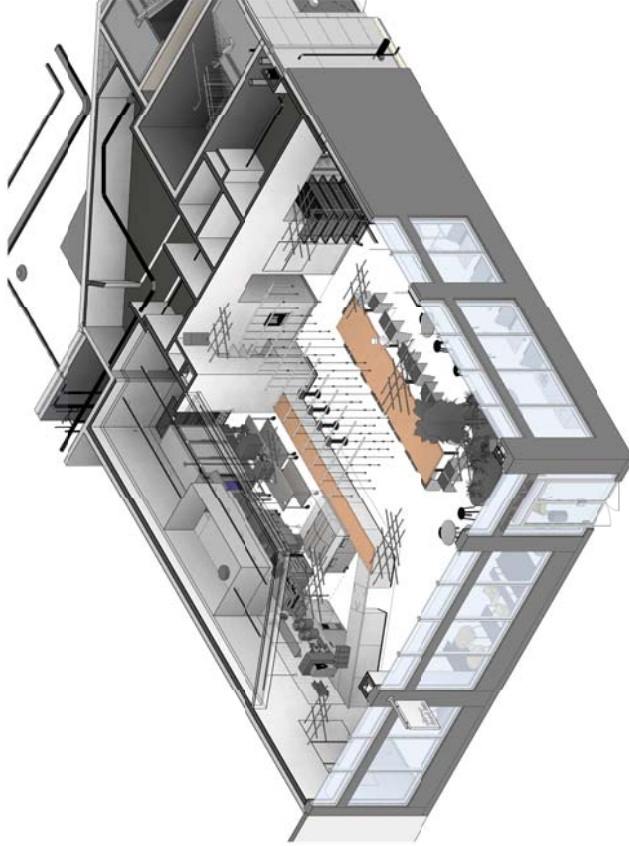
2 3D VIEW- ORDER AREA



1 3D VIEW - DINING SCALE:



4 3D VIEW - GRAD AND GO RETAIL



AXON-A
SCALE:

LICENSING COMMISSION LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: AL22-000032

File #: 22-013787

Business Name: Fernandez Brothers Liquors V, Inc.

Application Type: Package Store (with alcohol)

Location: 152 Boston Avenue

APPLICANT

Company Name: Jen Allen Law

Business Address:

P.O. Box 149

Stoughton, MA 02072

Legal Name of the Proposed Licenseholder (Name of Corporation, LLC, Partnership/LLP, Trust, Sole Proprietor, Other)

Fernandez Brothers Liquors V, Inc.

DBA Name

Fernandez Brothers Liquors

In the last 5 years, have you been found guilty, liable, or responsible, in any judicial or administrative proceeding, for any violation of the City Wage Theft Ordinance or any State or Federal laws or regulations regulating the payment of wages?

No

Manager of your establishment

Ygnacio Fernandez

Will you offer seating for the consumption of food on premises? (Food includes non-alcoholic beverages)

No

Number of floors on the premises

1

Name of floor (Basement, balcony, Main, 2nd floor, etc.)¹

Main

Number of rooms¹

1

Square footage¹

2246

Number of seats (enter 0 if you are not serving food on premises)¹

0

Square footage²

0

Number of entrances into the indoor premises

1

Number of exits from the indoor premises

1

Number of rooms indoors

1

Total square footage indoors

2246

Total seating capacity indoors

0

Total square footage outdoors

0

Total seating capacity outdoors

0

Total seating capacity

0

Are you an Educational Institution?

No

Are you a Farmer Pourer?

No

Are you a Package Store?

All Forms

Are you a Private Club?

No

Are you a Restaurant/Common Victualer?	No
Are you an Inn?	No
Days and hours of operation to serve, sell or distribute alcohol indoors	M-Sat 8M - 11PM Sunday 10AM - 11PM
Do you want to open Sundays to serve, sell or distribute alcohol between 10:00 AM and 11:59 AM?	Yes
Opening time on Sundays to serve, sell or distribute alcohol	10 AM
Will you offer Entertainment indoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Total Devices indoors	0
Will you offer Entertainment outdoors(recorded music, tvs, performers, djs, dancing, etc.)?	No
Describe any other businesses serving alcohol on the premises	None
Have you obtained an alcohol license before?	Yes
List each license with the city, state, and year first licensed	Lawrence, MA 2019
Have you ever had a license denied, revoked, or suspended?	No
Have you ever received a Notice of Violation?	No
Describe your outreach to the Ward of Alderman and the neighborhood	Attorney has reached out to Judy Neufeld, Councilor of Ward 7 and Buyers have spoken to direct neighbors
You must read and accept the above stated terms & conditions	Yes

PUBLIC EVENT/SPECIAL ALCOHOL LICENSE APPLICATION

City of Somerville, Commonwealth of Massachusetts

Application #: PEL22-000164

File #: 21-013637

Application for: Public Event, Special Alcohol, Malt Only

Organization name: The Elizabeth Peabody House Association

Description: The Fall Festival will include activities for all ages, including a cornhole tournament, pumpkin decorating, a bouncy house, a cider tasting, live music, and face painting. The event will take place in three areas: the parking lot and sidewalk outside of EPH, the afterschool space on the first floor of 277 Broadway, and the playground and yard behind 277 Broadway.

Date(s): 10/22/2022

Setup starts at (time): 12:00PM

Cleanup after the event ends at (time): 8:00PM

Entertainment: Live music: Revolutionary Snake Ensemble

Attendees:

Max attendance at one time: 50

Maximum attendees accommodated: 100

Attendee fees or suggested donations: There is a \$100 fee per team to enter the cornhole tournament. A \$30 donation will be required to attend the cider tasting. All other activities will be free so as not to restrict public access, but donations will be recommended.

Social or cultural benefits:

EPH has been a community center in Somerville's Winter Hill neighborhood for over 40 years since we purchased the 275 and 277 Broadway parcel. After 2 years of a pandemic, we are planning to host a party for all of our neighbors and enrolled families. This event will bring together our community and is open to the public. We will be featuring local vendors and businesses at this event.

Event Contact: Katie Aucella

Alcohol service begins at: 2:00PM

Event name: Elizabeth Peabody House 2022 Fall Festival

Location: The Elizabeth Peabody House will be hosting a Fall Festival on our property at 277 Broadway as well as in the parking lot adjacent to our property and the adjoining sidewalk. The parking lot and sidewalk area spans the parcels of 269 - 277 Broadway.

Rain date(s): 10/29/2022

Event starts at (time): 2:00PM

Event ends at (time): 6:00PM

Temporary Structures: We are looking to rent a bouncy house (19' x 18') that will be located in the parking lot. We may also rent a tent to cover the registration table.

Total people attending: 200

Total Somerville residents attending: 150

What is your budget for this event: 2000

Financial benefits:

Local vendors and businesses will be included in our event. We are reaching out to nearby breweries and restaurants to sell their goods at the event. Any involved businesses will be featured on our signage and advertising in the weeks leading up to the festival.

Event Contact Phone: 617-623-5510 x. 108

Alcohol service ends at: 6:00PM

Event Information	Yes/No	If yes, Describe
Open to the public?	Yes	We will be advertising this event on our public social media profiles as well as through email campaigns. We are purchasing yard signs for members of our community to display and working with vendors to advertise the event on their social media as we secure them
Food served?	Yes	The Winter Hill Brewing Company has agreed to cater this event.
Caterer used?	Yes	Winter Hill Brewing Company 328 Broadway Somerville, MA 02145
Alcohol served?	Yes	Alcohol to be served: Malt Only, Indoors and Outdoors Alcohol will be served inside EPH on the first floor as well

as in the parking lot space out front.

Grill/open-flame device used?	No
Streets blocked?	No
Sidewalks blocked?	Yes

The sidewalk and small parking lot outside of EPH will be blocked off, from the parcel at 269 Broadway (at the corner of Wheatland St.) to 277 Broadway (at Grant St.)

Arrangements:

Police Detail:	Yes
Parking (for Attendees)?	Yes
Restrooms?	Yes
Liability Insurance?	Yes
Will any public parks be used?	No
Has the event occurred in the last two years?	No

We will contact and work with the Somerville Police Department to organize a detail as needed.

There is available metered parking near EPH and we will make sure to include parking recommendations in communications about the event.

EPH has many restrooms within our facility that are available to the public and are handicap-accessible.

We will work with our insurance provider to acquire proper insurance for this event.

Approval Conditions:

Approved By:

BATHROOMS +
CIDER TASTING
EPH

LIVE MUSIC +
CHILDREN'S ACTIVITIES
PLAYGROUND

